

**APPLICATION FOR MINOR MODIFICATION OF THE ROCK GARDEN  
PLANNED UNIT DEVELOPMENT  
A/K/A GLENWOOD CANYON RESORT**

PREPARED FOR:

HAN Capital LLC  
7300 N. Cicero Avenue, Suite 201  
Lincolnwood, IL 60712

PREPARED BY:

High Country Engineering, Inc.  
1517 Blake Avenue, Suite 101  
Glenwood Springs, CO 81601  
(970) 945-8676

September 24, 2024

Revised March 7, 2025

HCE Project Number: 2241002.00

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Separate 24"x36" – Construction Drawing Set



## PAYMENT AGREEMENT FORM

GARFIELD COUNTY ("COUNTY") and Property Owner ("APPLICANT") Glenwood Canyon Resort LLC  
agree as follows:

1. The Applicant has submitted to the County an application for the following Project: Minor PUD Amendment of the Rock Gardens PUD
2. The Applicant understands and agrees that Garfield County Resolution No. 2014-60, as amended, establishes a fee schedule for each type application, and the guidelines for the administration of the fee structure.
3. The Applicant and the County agree that because of the size, nature or scope of the proposed project, it is not possible at this time to ascertain the full extent of the costs involved in processing the application. The Applicant agrees to make payment of the Base Fee, established for the Project, and to thereafter permit additional costs to be billed to the Applicant. The Applicant agrees to make additional payments upon notification by the County, when they are necessary, as costs are incurred.
4. The Base Fee shall be in addition to and exclusive of any cost for publication or cost of consulting service determined necessary by the Board of County Commissioners for the consideration of an application or additional County staff time or expense not covered by the Base Fee. If actual recorded costs exceed the initial Base Fee, the Applicant shall pay additional billings to the County to reimburse the County for the processing of the Project. The Applicant acknowledges that all billing shall be paid prior to the final consideration by the County of any Land Use Change or Division of Land.

I hereby agree to pay all fees related to this application:

Billing Contact Person: Bryan Hayes Phone: (224) 251-8788  
Billing Contact Address: 7300 N Cicero Ste 201  
City: Lincolnwood State: IL Zip Code: 60712  
Billing Contact Email: Billing@hancapitalgroup.com

Printed Name of Person Authorized to Sign: Nikita Turik

[Signature]  
(Signature)

5/29/2024  
(Date)



## STATEMENT OF AUTHORITY

Pursuant to C.R.S. §38-30-172, the undersigned executes this Statement of Authority on behalf of Glenwood Canyon Resort LLC, a Colorado (corporation, limited liability company, general partnership, registered limited liability partnership, registered limited liability limited partnership, limited partnership association, government agency, trust or other), an entity other than an individual, capable of holding title to real property (the "Entity"), and states as follows:

The name of the Entity is Glenwood Canyon Resort LLC  
and is formed under the laws of state of Colorado  
The mailing address for the Entity is 7300 N. Cicero Ave. STE 201  
Lincolnwood, IL 60712

The name and/or position of the person authorized to execute instruments conveying, encumbering, or otherwise affecting title to real property on behalf of the Entity is Nikita Turik, Manager

The limitations upon the authority of the person named above or holding the position described above to bind the Entity are as follows (if no limitations, insert "None"): NONE

Other matters concerning the manner in which the Entity deals with any interest in real property are (if no other matter, leave this section blank):

EXECUTED this 24 day of May, 20 24

Signature: [Signature]  
Name (printed): Nikita Turik  
Title (if any): Manager

STATE OF Illinois )  
COUNTY OF Cook ) SS.

The foregoing instrument was acknowledged before me this 24 day of May, 20 24  
by Nikita Turik, on behalf of Glenwood Canyon Resort LLC  
Manager

Witness my hand and official seal.

My commission expires: 12/10/2026  
(Date)

[Signature]  
(Notary Public)





**LEGAL DESCRIPTION:**

**PARCEL A:**

A STRIP OR PARCEL OF LAND, 200 FEET WIDE, LYING SOUTH OF THE ROAD, AND OFF THE WEST SIDE OF THE NW1/4SE1/4, SECTION 2, TOWNSHIP 6 SOUTH, RANGE 89 WEST OF THE 6<sup>TH</sup> P.M., AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID NW1/4SE1/4;  
THENCE RUNNING EASTERLY 200 FEET ALONG SOUTH LINE OF SAID NW1/4SE1/4;  
THENCE NORTHERLY ON A LINE PARALLEL TO THE WEST LINE OF SAID NW1/4SE1/4, TO THE COUNTY ROAD;  
THENCE WESTERLY ALONG THE COUNTY ROAD, TO THE WEST LINE OF SAID NW1/4SE1/4;  
AND THENCE SOUTHERLY ALONG SAID WEST LINE, TO THE PLACE OF BEGINNING,

EXCEPTING FROM THE ABOVE DESCRIBED PARCEL A, THE PROPERTY CONVEYED TO THE DEPARTMENT OF HIGHWAYS, STATE OF COLORADO BY EDWARD E. HENDERSON, JR. AND IRIS V. HENDERSON, RECORDED OCTOBER 22, 1964 UNDER RECEPTION NO 227358, AND DESCRIBED AS FOLLOWS, TO-WIT: A TRACT OR PARCEL OF LAND NO. 113, OF COLORADO DEPARTMENT OF HIGHWAYS PROJECT NO. I 70-2(2)121, IN THE NW1/4 OF THE SE1/4 OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 89 WEST OF THE 6<sup>TH</sup> P.M., SAID TRACT OR PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST LINE OF THE NW1/4 OF THE SE1/4, OF SECTION 2, FROM WHICH POINT THE E1/4 CORNER OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 89 WEST, BEARS N 78° 08' E, A DISTANCE OF 2493.9 FEET; THENCE N 00°50'30" E, ALONG THE WEST LINE OF THE NW1/4 OF THE SE1/4 OF SECTION 2, A DISTANCE OF 64.4 FEET, TO THE SOUTH RIGHT OF WAY LINE OF S.H. 4 (DECEMBER 1963); THENCE ALONG THE SOUTH RIGHT OF WAY LINE OF S.H. 4 (DECEMBER 1963), N 81 °29' E, A DISTANCE OF 208.7 FEET TO THE EAST PROPERTY LINE; THENCE S 00 °50'30" W ALONG THE EAST PROPERTY LINE A DISTANCE OF 120.4 FEET; THENCE N 83°38' W, A DISTANCE OF 207.1 FEET, MORE OR LESS, TO THE POINT OF BEGINNING

**PARCEL B:**

THE SW1/4SE1/4, OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 89 WEST, OF THE 6<sup>TH</sup> P.M.

COUNTY OF GARFIELD  
STATE OF COLORADO

**PROPERTIES WITHIN 200 FEET OF  
1308 129 COUNTY ROAD  
GLENWOOD SPRINGS, CO 81601  
(SECTION 2, TOWNSHIP 6, RANGE 89)**

HCE PROJECT NUMBER 2241002  
CHECKED WITH GARFIELD COUNTY ASSESSOR ON 11/1/24

**Bureau of Land Management**

2300 River Frontage Road  
Silt, CO 81652  
Parcel Number 2185-112-00-962

**State of Colorado Department of  
Highways**

4201 E. Arkansas Avenue  
Denver, CO 80222-3406  
Parcel Number 2185-024-00-045

**McKeel, Joseph Wayne & Lynch,  
Joan**

PO Box 325  
Decatur, TX 76234  
Parcel Number 2185-013-00-032

**Beinn Taigh CO**

106 Turtle Cove  
Aspen, CO 81611  
Parcel Number 2185-023-00-066

**Donelan, Charles F Revocable Trust  
& Donelan, Penny Lynn Revocable  
Trust**

PO Box 1051  
Glenwood Springs, CO 81602-1051  
Parcel Number 2185-023-00-064

**English, Melissa T**

PO Box 1972  
Glenwood Springs, CO 81602  
Parcel Number 2185-023-00-067

**Mangeot Trust**

1270 County Road 129  
Glenwood Springs, CO 81601  
Parcel Number 2185-023-00-065

**Weissbeck, Reid & Zoey**

1281 129 County Road  
Glenwood Springs, CO 81601  
Parcel Number 2185-023-00-027

**Hammar, Jerry & Dena M**

1245 129 County Road  
Glenwood Springs, CO 81601  
Parcel Number 2185-023-00-063



## Customer Distribution



**Prevent fraud** - Please call a member of our closing team for wire transfer instructions or to initiate a wire transfer. Note that our wiring instructions will never change.

Order Number: **RND63021586**

Date: **12/09/2024**

Property Address: **1308 COUNTY ROAD 129, GLENWOOD SPRINGS, CO 81601**

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### For Closing Assistance

### For Title Assistance

George Rietsch  
5975 GREENWOOD PLAZA  
BLVD  
GREENWOOD VILLAGE, CO  
80111  
(303) 850-4151 (Work)  
[grietsch@ltgc.com](mailto:grietsch@ltgc.com)

---

### Seller/Owner

GLENWOOD CANYON RESORT LLC, A  
COLORADO LIMITED LIABILITY COMPANY  
Attention: WILLIAM LUNDGREN  
C/O ZABEL LAW, LLC  
55 WEST MONROE, SUITE 3300  
Chicago, IL 60603  
(312) 380-2470 (Work)  
[wlundgren@zabellaw.com](mailto:wlundgren@zabellaw.com)  
Delivered via: Electronic Mail



## Estimate of Title Fees

**Order Number:** RND63021586

**Date:** 12/09/2024

**Property Address:** 1308 COUNTY ROAD 129, GLENWOOD SPRINGS, CO 81601

**Seller(s):** GLENWOOD CANYON RESORT LLC, A COLORADO LIMITED LIABILITY COMPANY

**Buyer(s):** A BUYER TO BE DETERMINED

Thank you for putting your trust in Land Title. Below is the estimate of title fees for the transaction. The final fees will be collected at closing. Visit [ltgc.com](https://ltgc.com) to learn more about Land Title.

Estimate of Title Insurance Fees	
"TBD" Commitment	\$279.00
<b>TOTAL</b>	<b>\$279.00</b>

**Note:** The documents linked in this commitment should be reviewed carefully. These documents, such as covenants conditions and restrictions, may affect the title, ownership and use of the property. You may wish to engage legal assistance in order to fully understand and be aware of the implications of the documents on your property.

**Chain of Title Documents:**

[Garfield county recorded 03/02/2023 under reception no. 983893](#)

[Garfield county recorded 03/31/2022 under reception no. 972849](#)

**ALTA COMMITMENT**

**Old Republic National Title Insurance Company**

**Schedule A**

**Order Number: RND63021586**

**Property Address:**

1308 COUNTY ROAD 129, GLENWOOD SPRINGS, CO 81601

**1. Effective Date:**

11/18/2024 at 5:00 P.M.

**2. Policy to be Issued and Proposed Insured:**

"TBD" Commitment

\$0.00

Proposed Insured:

A BUYER TO BE DETERMINED

**3. The estate or interest in the land described or referred to in this Commitment and covered herein is:**

FEE SIMPLE

**4. Title to the estate or interest covered herein is at the effective date hereof vested in:**

GLENWOOD CANYON RESORT LLC, A COLORADO LIMITED LIABILITY COMPANY

**5. The Land referred to in this Commitment is described as follows:**

**ALTA COMMITMENT**  
**Old Republic National Title Insurance Company**  
**Schedule A**

Order Number: RND63021586

**PARCEL A:**

A STRIP OR PARCEL OF LAND, 200 FEET WIDE,  
LYING SOUTH OF THE ROAD,  
AND OFF THE WEST SIDE OF THE NW1/4SE1/4, SECTION 2,  
TOWNSHIP 6 SOUTH, RANGE 89 WEST OF THE 6TH P.M.,  
COUNTY OF GARFIELD, STATE OF COLORADO,  
AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID NW1/4SE1/4;  
THENCE RUNNING EASTERLY 200 FEET ALONG SOUTH LINE OF SAID NW1/4SE1/4;  
THENCE NORTHERLY ON A LINE PARALLEL TO THE WEST LINE OF SAID NW1/4SE1/4,  
TO THE COUNTY ROAD;  
THENCE WESTERLY ALONG THE COUNTY ROAD,  
TO THE WEST LINE OF SAID NW1/4SE1/4;  
THENCE SOUTHERLY ALONG SAID WEST LINE,  
TO THE PLACE OF BEGINNING.

**EXCEPTING FROM THE ABOVE DESCRIBED PARCEL A:**

THE PROPERTY CONVEYED TO THE DEPARTMENT OF HIGHWAYS,  
STATE OF COLORADO, BY EDWARD E. HENDERSON, JR. AND IRIS V. HENDERSON,  
RECORDED OCTOBER 22, 1964 UNDER RECEPTION NO. [227358](#),  
AND DESCRIBED AS FOLLOWS, TO-WIT:

A TRACT OR PARCEL OF LAND NO. 113,  
OF COLORADO DEPARTMENT OF HIGHWAYS PROJECT NO. I 70-2(2)121,  
IN THE NW1/4 OF THE SE1/4 OF SECTION 2,  
TOWNSHIP 6 SOUTH, RANGE 89 WEST OF THE 6TH P.M.,  
SAID TRACT OR PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST LINE OF THE NW1/4 OF THE SE1/4,  
OF SECTION 2, FROM WHICH POINT THE E1/4 CORNER OF SECTION 2,  
TOWNSHIP 6 SOUTH, RANGE 89 WEST,  
BEARS N. 78°08' E., A DISTANCE OF 2493.9 FEET;  
THENCE N. 00°50'30" E., ALONG THE WEST LINE OF THE NW1/4 OF THE SE1/4,  
OF SECTION 2, A DISTANCE OF 64.4 FEET,  
TO THE SOUTH RIGHT OF WAY LINE OF S.H. 4 (DECEMBER 1963);  
THENCE ALONG THE SOUTH RIGHT OF WAY LINE OF S. H. 4 (DECEMBER 1963),  
N. 81°29' E., A DISTANCE OF 208.7 FEET, TO THE EAST PROPERTY LINE;  
THENCE S. 00°50'30" W. ALONG THE EAST PROPERTY LINE, A DISTANCE OF 120.4 FEET;  
THENCE N. 83° 38' W. A DISTANCE OF 207.1 FEET, MORE OR LESS,  
TO THE POINT OF BEGINNING,  
COUNTY OF GARFIELD, STATE OF COLORADO.

**PARCEL B:**

THE SW1/4SE1/4, OF SECTION 2,  
TOWNSHIP 6 SOUTH, RANGE 89 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
COUNTY OF GARFIELD, STATE OF COLORADO.

**ALTA COMMITMENT**  
**Old Republic National Title Insurance Company**  
**Schedule A**

**Order Number: RND63021586**

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**ALTA COMMITMENT**  
**Old Republic National Title Insurance Company**  
**Schedule B, Part I**  
**(Requirements)**

**Order Number:** RND63021586

**All of the following Requirements must be met:**

**This proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.**

**Pay the agreed amount for the estate or interest to be insured.**

**Pay the premiums, fees, and charges for the Policy to the Company.**

**Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.**

THIS COMMITMENT IS FOR INFORMATION ONLY, AND NO POLICY WILL BE ISSUED PURSUANT HERETO.

The following will be required should the Company be requested to issue a future commitment to insure:

1. RELEASE OF DEED OF TRUST DATED MARCH 20, 2022 FROM GLENWOOD CANYON RESORT LLC, A COLORADO LIMITED LIABILITY COMPANY TO THE PUBLIC TRUSTEE OF GARFIELD COUNTY FOR THE USE OF ADAMS BANK & TRUST TO SECURE THE SUM OF \$9,975,000.00 RECORDED MARCH 31, 2022, UNDER RECEPTION NO. [972857](#).

SAID DEED OF TRUST WAS FURTHER SECURED IN ASSIGNMENT OF RENTS RECORDED MARCH 31, 2022, UNDER RECEPTION NO. [972853](#).

2. WARRANTY DEED FROM GLENWOOD CANYON RESORT LLC, A COLORADO LIMITED LIABILITY COMPANY TO A BUYER TO BE DETERMINED CONVEYING SUBJECT PROPERTY.

NOTE: THE STATEMENT OF AUTHORITY RECORDED MARCH 31, 2022 UNDER RECEPTION NO. [972850](#) AND THE OPERATING AGREEMENT FOR GLENWOOD CANYON RESORT LLC, A COLORADO LIMITED LIABILITY COMPANY DISCLOSES ALEXANDER TURIK, MANAGER OF HAN ENTERPRISES, LLC, A DELAWARE LIMITED LIABILITY COMPANY AS THE MANAGER AUTHORIZED TO EXECUTE LEGAL INSTRUMENTS ON BEHALF OF SAID ENTITY.

**ALTA COMMITMENT**  
**Old Republic National Title Insurance Company**  
**Schedule B, Part II**  
**(Exceptions)**

Order Number: RND63021586

This commitment does not republish any covenants, condition, restriction, or limitation contained in any document referred to in this commitment to the extent that the specific covenant, conditions, restriction, or limitation violates state or federal law based on race, color, religion, sex, sexual orientation, gender identity, handicap, familial status, or national origin.

1. Any facts, rights, interests, or claims thereof, not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
5. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date of the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this Commitment.
6. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
7. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water.
8. EXISTING LEASES AND TENANCIES, IF ANY.
9. ANY INCREASE OR DECREASE IN THE AREA OF THE LAND AND ANY ADVERSE CLAIM TO ANY PORTION OF THE LAND WHICH HAS BEEN CREATED BY OR CAUSED BY ACCRETION OR RELICTION, WHETHER NATURAL OR ARTIFICIAL AND THE EFFECT OF THE GAIN OR LOSS OF AREA BY ACCRETION OR RELICTION UPON THE MARKETABILITY OF THE TITLE OF THE LAND.
10. ANY RIGHTS, INTERESTS OR EASEMENTS IN FAVOR OF THE UNITED STATES OF AMERICA, THE STATE OF COLORADO, OR THE PUBLIC, WHICH EXIST OR ARE CLAIMED TO EXIST IN AND OVER THE PAST AND PRESENT BED, BANKS OR WATERS OF COLORADO RIVER TRAVERSING SUBJECT PROPERTY.
11. RIGHT OF PROPRIETOR OF A VEIN OR LODE TO EXTRACT AND REMOVE HIS ORE THEREFROM SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES AS RESERVED IN UNITED STATES PATENT RECORDED MAY 05, 1896, IN BOOK 12 AT PAGE [421](#).  
(AFFECTS PARCEL A)
12. RIGHT OF THE PROPRIETOR OF A VEIN OR LODE TO EXTRACT AND REMOVE HIS ORE THEREFROM, SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES HEREBY GRANTED, AND A RIGHT OF WAY FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES, AS RESERVED IN UNITED STATES PATENT RECORDED SEPTEMBER 11, 1895 IN BOOK 12 AT PAGE [382](#).  
(AFFECTS PARCEL B)

**ALTA COMMITMENT**  
**Old Republic National Title Insurance Company**  
**Schedule B, Part II**  
**(Exceptions)**

**Order Number:** RND63021586

13. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN PERMANENT EASEMENT RECORDED OCTOBER 22, 1964 IN BOOK 361 AT PAGE [408](#) UNDER RECEPTION NO. 227357.
14. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN PERMANENT EASEMENT FOR AN ACCESS ROAD RECORDED FEBRUARY 18, 1965 IN BOOK 364 AT PAGE [62](#) UNDER RECEPTION NO. 228765.
15. EASEMENTS, RIGHTS OF WAY AND ALL RIGHTS OF ACCESS AS GRANTED IN INSTRUMENTS RECORDED MARCH 5, 1965 IN BOOK 364 AT PAGE [252](#) AND PAGE [254](#) AND INSTRUMENTS RECORDED AUGUST 7, 1981 IN BOOK 578 AT PAGE [747](#) AND PAGE [749](#).
16. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE BASALT WATER CONSERVANCY DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED JUNE 18, 1986, UNDER RECEPTION NO. [371924](#).
17. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN AMENDED RULING OF REFEREE CONCERNING THE APPLICATION OF WATER RIGHTS RECORDED JANUARY 08, 1986 IN BOOK 774 AT PAGE [516](#).
18. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN BOUNDARY AGREEMENT RECORDED AUGUST 05, 1993 IN BOOK 871 AT PAGE [483](#). MAP THEREOF RECORDED SEPTEMBER 16, 1993 UNDER RECEPTION NO. 452494.
19. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN GRANT OF AERIAL EASEMENT RECORDED OCTOBER 29, 2003 IN BOOK 1533 AT PAGE [91](#) UNDER RECEPTION NO. 639609.
20. TERMS, CONDITIONS AND PROVISIONS OF BOARD OF COUNTY COMMISSIONERS RESOLUTION NO. 2004-69 RECORDED AUGUST 20, 2004 IN BOOK 1615 AT PAGE [523](#) UNDER RECEPTION NO. 658362.
21. TERMS, CONDITIONS AND PROVISIONS OF RESOLUTION NO. 2005-98 RECORDED DECEMBER 07, 2005 IN BOOK 1752 AT PAGE [991](#).
22. TERMS, CONDITIONS AND PROVISIONS OF GARFIELD COUNTY PLANNING COMMISSION RESOLUTION NO. 2007 - PC 2007-02 RECORDED OCTOBER 02, 2007 UNDER RECEPTION NO. [734317](#).
23. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN OF LAND USE CHANGE PERMIT RECORDED JANUARY 21, 2010 UNDER RECEPTION NO. [780938](#).
24. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN LAND USE CHANGE PERMIT FOR ROCK GARDENS PLANNED UNIT DEVELOPMENT RECORDED MARCH 25, 2010 UNDER RECEPTION NO. [783764](#).



## Land Title Guarantee Company

### Disclosure Statements

**Note:** Pursuant to CRS 10-11-122, notice is hereby given that:

- (A) The Subject real property may be located in a special taxing district.
- (B) A certificate of taxes due listing each taxing jurisdiction will be obtained from the county treasurer of the county in which the real property is located or that county treasurer's authorized agent unless the proposed insured provides written instructions to the contrary. (for an Owner's Policy of Title Insurance pertaining to a sale of residential real property).
- (C) The information regarding special districts and the boundaries of such districts may be obtained from the Board of County Commissioners, the County Clerk and Recorder, or the County Assessor.

**Note:** Effective September 1, 1997, CRS 30-10-406 requires that all documents received for recording or filing in the clerk and recorder's office shall contain a top margin of at least one inch and a left, right and bottom margin of at least one half of an inch. The clerk and recorder may refuse to record or file any document that does not conform, except that, the requirement for the top margin shall not apply to documents using forms on which space is provided for recording or filing information at the top margin of the document.

**Note:** Colorado Division of Insurance Regulations 8-1-2 requires that "Every title entity shall be responsible for all matters which appear of record prior to the time of recording whenever the title entity conducts the closing and is responsible for recording or filing of legal documents resulting from the transaction which was closed". Provided that Land Title Guarantee Company conducts the closing of the insured transaction and is responsible for recording the legal documents from the transaction, exception number 5 will not appear on the Owner's Title Policy and the Lenders Policy when issued.

**Note:** Affirmative mechanic's lien protection for the Owner may be available (typically by deletion of Exception no. 4 of Schedule B, Section 2 of the Commitment from the Owner's Policy to be issued) upon compliance with the following conditions:

- (A) The land described in Schedule A of this commitment must be a single family residence which includes a condominium or townhouse unit.
- (B) No labor or materials have been furnished by mechanics or material-men for purposes of construction on the land described in Schedule A of this Commitment within the past 6 months.
- (C) The Company must receive an appropriate affidavit indemnifying the Company against un-filed mechanic's and material-men's liens.
- (D) The Company must receive payment of the appropriate premium.
- (E) If there has been construction, improvements or major repairs undertaken on the property to be purchased within six months prior to the Date of Commitment, the requirements to obtain coverage for unrecorded liens will include: disclosure of certain construction information; financial information as to the seller, the builder and or the contractor; payment of the appropriate premium fully executed Indemnity Agreements satisfactory to the company, and, any additional requirements as may be necessary after an examination of the aforesaid information by the Company.

No coverage will be given under any circumstances for labor or material for which the insured has contracted for or agreed to pay.

**Note:** Pursuant to CRS 10-11-123, notice is hereby given:

This notice applies to owner's policy commitments disclosing that a mineral estate has been severed from the surface estate, in Schedule B-2.

- (A) That there is recorded evidence that a mineral estate has been severed, leased, or otherwise conveyed from the surface estate and that there is substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal energy in the property; and
- (B) That such mineral estate may include the right to enter and use the property without the surface owner's permission.

**Note:** Pursuant to CRS 10-1-128(6)(a), It is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance, and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado Division of Insurance within the Department of Regulatory Agencies.

**Note:** Pursuant to Colorado Division of Insurance Regulations 8-1-3, notice is hereby given of the availability of a closing protection letter for the lender, purchaser, lessee or seller in connection with this transaction.

**Note:** Pursuant to CRS 24-21-514.5, Colorado notaries may remotely notarize real estate deeds and other documents using real-time audio-video communication technology. You may choose not to use remote notarization for any document.



## **Joint Notice of Privacy Policy of Land Title Guarantee Company Land Title Insurance Corporation and Old Republic National Title Insurance Company**

This Statement is provided to you as a customer of Land Title Guarantee Company as agent for Land Title Insurance Corporation and Old Republic National Title Insurance Company.

We want you to know that we recognize and respect your privacy expectations and the requirements of federal and state privacy laws. Information security is one of our highest priorities. We recognize that maintaining your trust and confidence is the bedrock of our business. We maintain and regularly review internal and external safeguards against unauthorized access to your non-public personal information ("Personal Information").

In the course of our business, we may collect Personal Information about you from:

- applications or other forms we receive from you, including communications sent through TMX, our web-based transaction management system;
  - your transactions with, or from the services being performed by us, our affiliates, or others;
  - a consumer reporting agency, if such information is provided to us in connection with your transaction;
- and
- The public records maintained by governmental entities that we obtain either directly from those entities, or from our affiliates and non-affiliates.

Our policies regarding the protection of the confidentiality and security of your Personal Information are as follows:

- We restrict access to all Personal Information about you to those employees who need to know that information in order to provide products and services to you.
- We may share your Personal Information with affiliated contractors or service providers who provide services in the course of our business, but only to the extent necessary for these providers to perform their services and to provide these services to you as may be required by your transaction.
- We maintain physical, electronic and procedural safeguards that comply with federal standards to protect your Personal Information from unauthorized access or intrusion.
- Employees who violate our strict policies and procedures regarding privacy are subject to disciplinary action.
- We regularly assess security standards and procedures to protect against unauthorized access to Personal Information.

**WE DO NOT DISCLOSE ANY PERSONAL INFORMATION ABOUT YOU WITH ANYONE FOR ANY PURPOSE THAT IS NOT STATED ABOVE OR PERMITTED BY LAW.**

Consistent with applicable privacy laws, there are some situations in which Personal Information may be disclosed. We may disclose your Personal Information when you direct or give us permission; when we are required by law to do so, for example, if we are served a subpoena; or when we suspect fraudulent or criminal activities. We also may disclose your Personal Information when otherwise permitted by applicable privacy laws such as, for example, when disclosure is needed to enforce our rights arising out of any agreement, transaction or relationship with you.

Our policy regarding dispute resolution is as follows: Any controversy or claim arising out of or relating to our privacy policy, or the breach thereof, shall be settled by arbitration in accordance with the rules of the American Arbitration

Association, and judgment upon the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof.





## Commitment For Title Insurance

### Issued by Old Republic National Title Insurance Company

#### NOTICE

IMPORTANT—READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON. .

#### COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, Old Republic National Title Insurance Company, a Minnesota corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured. If all of the Schedule B, Part I—Requirements have not been met within 6 months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

#### COMMITMENT CONDITIONS

##### 1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I—Requirements; and
- (f) Schedule B, Part II—Exceptions; and
- (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

##### 4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

##### 5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
  - i. comply with the Schedule B, Part I—Requirements;
  - ii. eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
  - iii. acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

##### 6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.

- (d) The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

**7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT**

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

**8. PRO-FORMA POLICY**

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

**9. ARBITRATION**

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

IN WITNESS WHEREOF, Land Title Insurance Corporation has caused its corporate name and seal to be affixed by its duly authorized officers on the date shown in Schedule A to be valid when countersigned by a validating officer or other authorized signatory.


Issued by:  
Land Title Guarantee Company  
3033 East First Avenue Suite 600  
Denver, Colorado 80206  
303-321-1880



Craig B. Rants, Senior Vice President



**OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY**  
A Stock Company  
1408 North Westshore Blvd., Suite 900, Tampa, Florida 33607  
(612) 371-1111 [www.oldrepublictitle.com](http://www.oldrepublictitle.com)

By  President

Attest  Secretary

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Old Republic National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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## Rock Gardens PUD Minor Modification Overview

Revised February 12, 2025

Special Note: The Applicant requests approval to complete the herein described site modifications by a deadline of June 1, 2026. Given an anticipated BOCC approval in late Spring, proceeding with these site modifications during this Summer's Camping Season would be very detrimental to the Resort's guest experience. That activity could also present a safety hazard for Resort guests. Some limited construction activity may proceed with the proposed New RV sites which can be effectively isolated from guest activities by appropriate fencing.

Glenwood Canyon Resort operates under the provisions of the Rock Gardens PUD approved by BOCC Resolutions 2004-69 and a Minor Modification of that PUD approved by the Director of Building and Planning on January 20, 2010. That amendment primarily added a Ropes Challenge Course as a "Use, by right" in the Camper Park and Commercial Recreation District of the PUD.

The owners of Glenwood Canyon Resort request a Minor Modification to Rock Gardens PUD to accommodate a change in the location of uses in a limited area of the approved site plan. The involved use (activity) is a "Use, by right" in the PUD

For many years, one of the major activities in the Camper Park and Commercial Recreation District has been a commercial river rafting operation. As of 2024, that rafting company will no longer be operating at the Resort. The owners are proposing to remove existing building structures associated with the rafting operation and add eleven (11) recreational vehicle pads in the area that was previously occupied by rafting facilities. Three (3) of those pads will be occupied by Park Trailers (Park Models) similar to the Park Trailers currently located north of the Administration Building. As market demand develops, the Owners may choose to place Park Model units on all 11 of the new recreational vehicle pads. These RV pads are large enough to also provide two parking spaces for each additional Park Model unit. Appropriate water and sewer service lines will be extended at each pad and appropriate RV connections provided. The proposed pads are all within the Camper Park and Commercial Recreation District of the PUD which includes RVs, Park Trailers and Mobile Homes as a "Use, by right".

At each pad, parking for an accessory vehicle will also be provided. Two parking spaces will be provided for each of the Park Model units. Additionally, 18 spaces for general guest parking are proposed. The vast majority of patrons of the food service facility are already guests on the Resort Property, with an occasional off property patron. Given the size of the resort property, some resort campers may drive to the Community Building. Four parking spaces are provided adjacent to the existing Restroom Building and there are two existing two parking spaces adjacent to the Community Building which are intended for handicapped guests.

As in the past, during the off-peak occupancy season at the Resort, occasionally the Community Building is booked for special events, such as weddings, birthdays, anniversaries and similar type events. The purpose is, of course, to boost on site RV and Park Model occupancy during times of normal low occupancy. Typically, a few event guests will arrive from offsite in private vehicles and shuttles from local Glenwood Hotels. When needed, vacant RV pads closest to the Community Building will be utilized for additional offsite guest parking. Each unoccupied RV gravel-surfaced pad can comfortably accommodate at least two guest vehicles. Proposed additional parking spaces along the southerly access drive would also be available with a longer walking distance. A description of this activity has been added to the proposed Rock Gardens PUD Zoning Regulations in the 9<sup>th</sup> paragraph of Section 3.01.01, that text is as follows:

Community building / meeting hall with kitchen. The Community Building and associated food and beverage facilities may be utilized for special events such as weddings and celebration parties particularly during, but not limited to, the Off-Season for RV camping. Additional guest parking may be provided on unoccupied RV vehicle spaces closest to the Community Building.

Additional site enhancements include the abandonment of four existing tent sites. That space will be converted to a dog walk area. A screen fence will be added along the west property line of the PUD and the upper looping drive will be expanded to a full 22 feet in width with shoulders along with a short segment of traffic guard rail.

As an added note, the Ropes Challenge Course approved in 2010 has been dismantled and removed from the Resort.

Included within this application is an engineering report that confirms onsite water and sewer service facility capacities are more than adequate to accommodate the proposed new RV pads. The transfer of ownership of the wastewater treatment facility is in the process of being completed with the Colorado Department of Health.

All fire protections measures requested by the Glenwood Springs Fire Department associated with the original PUD Approval have been satisfied and maintained.

Traffic counts will be reduced from current volumes as documented in the engineer's report included with this application.

The Resort has adhered to the conditions of the original PUD approval. The 2010 PUD amendment required no new special conditions.

#### Property Line Encroachments

The Rock Gardens property survey shows four Camper Cabins encroaching on the property boundary and one cabin not compliant with the building setback. These cabins are not on permanent foundations and will be moved inward to comply with the property line Building Setback of 15 feet as identified in the Rock Gardens Zone Regulations (PUD Guide).

If the owners discover that moving the cabins inward to accommodate the Boundary Setback makes the area undesirably congested, the alternative will be to move two or three of those cabins to the area where additional parking is proposed easterly from the newly proposed Park Model units. Of those 18 spaces, two will be utilized by the proposed Park Model #11 and three camper cabins with their required parking space could utilize a total of 11 parking spaces leaving 5 parking spaces for general purpose parking.

The elevated decks on three retained Tent Sites also encroach on the property boundary and/or the Boundary Setback. These Tent sites will be relocated in the same general area in compliance with setbacks.

Alternatively, one or two of these Tent Sites will be relocated to existing Camping Sites on the lower terrace. The relocated tents will be placed at ground level and can be removed in case of a flood threat event.

One Park Model unit located generally easterly across the drive from the Admin Building is not compliant with the PUD Boundary setback of 15 feet. One end corner of the unit is 14'6" from the property fence installed by CDOT and 10 feet from the surveyed property line. The other end corner of that unit is 17'10" from the fence. The following underlined text is offered for addition to Section 5.02 of the Rock Gardens PUD Zone Regulations to allow that unit to remain in its current location.

5.02 Site Requirements Applicable Only to New Camper Space Facilities:

(1) Setbacks: All recreational vehicle parking spaces shall observe the minimum setbacks established by the Rock Gardens PUD Zone Regulations, with one exception. The Park Trailer (Park Model) labeled as "Resort Cabin 100" on the Glenwood Canyon Resort brochures and located on RV Pad #22 as labeled on the Glenwood Canyon Resort Proposed PUD Site dated January 9, 2025, and adopted by Garfield County Board of County Commissioners Resolution No. ? , may remain as currently located without compliance with the Rock Gardens PUD Zone Regulations Boundary Setback. Whenever that Park Trailer is removed from RV Pad #22, any replacement Park Trailer or Recreational Vehicle shall comply with all setbacks established by the Rock Gardens PUD Zone Regulations.

Flooding & High Water Setback

The lower terrace along the Colorado River has been identified as likely being within the 100 Year Flood Plain. Therefore, the four camper cabins located on the lower terrace will be reequipped with axels, wheels and hitch by which they were originally placed on the site. This will allow those four cabins to be removed from the lower terrace in the event of a flood water encroachment event.

Also, the current location of the camper cabins on the lower terrace are within the County defined setback from the Typical and Ordinary High Water Mark. Therefore, as soon as all the cabin's mobility has been reestablished, as previously described, they will be relocated elsewhere within the lower terrace well outside of the High Water Mark setback.

Relative to riparian vegetation, the river back is characterized by heavy boulders and has historically not supported much of any vegetation. Along the lower downriver reaches of the riverbank, Tamarisk was at one time

present, but the County required the Resort to remove the Tamarisk. On the terrace level, natural conditions are not appropriate for the support of typical riparian vegetation. The owners, on a few occasions, replaced trees that were cut down by beavers. No vegetation is proposed to be removed from the area of the High Water Mark setback.

### History Timeline Since Approval of the Rock Gardens PUD

- 2004: Rock Gardens PUD – Approved by County
- 2004 - 2005: The 21 RV sites in the NW corner of Phase 1 west of the entry drive are constructed after removal of the existing mobile homes in that area. Ten (10) Camper Cabins are also installed east of the entry drive in the area proposed for 11 Camper Cabins on the 2004 Phasing Plan.
- 2005 - 2008: Thirteen (13) Park Trailers (Park Models or Resort Cabins) were placed on RV sites along the West side of the entry drive of Phase 1 plus one in the existing sites across from the Main Office/Carport (shown on the 2004 Phasing Plan as EX49 & EX50). These 13 units are part of the "21 RV Spaces" along the west property line as shown on the 2004 Phasing Plan.
- 2008- 2009: All mobile homes in Phase 2 are removed and RV pads constructed per the approved Site Plan. New mobile homes were then placed on two (2) of the new RV pads in the Easterly area of Phase 1 to house Rock Gardens employees. That need for housing has largely disappeared and the two mobile homes are now marketed as Park Trailers (Resort Cabins) although, if the need arises, they can be used for employee housing.
- 2010: PUD is Amended to accommodate the Zipline complex which was then constructed along with the originally proposed Community Building.
- 2015: Four (4) river terrace Camping Cabins were installed on currently existing multi-use camping sites. Previously, these sites



were used for either small camper vans or tents and are included in the exiting camping site count (EX1 through EX48) on the riverside terrace as shown on the 2004 Phasing Plan. There are no sewer or water services, but electricity was upgraded at that time.

- 2017: The remaining eight (8) Phase 1 RV spaces of the 21 continued to be used as RV sites until Park Trailers are placed on those sites in 2017. These 21 Park Trailers are today referred to as the Resort Cabin/Cottage area.
- 2019: Four (4) Glamping Tent sites are placed in the area identified on the 2004 Phase Plan for eighteen (18) Tent Camp Sites. The Glamping Tents were placed on existing, active tent sites. The remaining unused "Tent Camp Sites" area will now be used for Dog Walking.
- 2021: The Zipline is dismantled and six (6) Camping Sites that had been occupied by the Zipline structures, are re-establish to their original use as Camping Sites. These sites are today marketed as the "Sprinter Village". Over the years the spacing of a few of the river terrace sites has been modified resulting in a decrease in the number of camping sites. Today there are forty-one (41) total Camping Sites on the river terrace including the six (6) units in the Sprinter Village plus four (4) Camper Cabins.

## Density Summary

1. In a mixed use setting, "impact" is a much more appropriate consideration than trying to relate the changing nature of the Uses to "density" ! The total unit count reduces from 130 to 122 (see the unit count in the attached Unit Summary Table). Density is proposed to be reduced by 8 units and Impact will be reduced as described below.
2. Removal of the rafting operation from the approved Site Plan dramatically reduces Impacts on the site, the neighborhood and the County. The number of people and vehicles moving in and out of the site, on a daily basis, drops significantly.
3. Engineering reports document the more than adequate availability of water and sewer services. Traffic flow in & out of the site will reduce,

although traffic is not much of an issue since the entrance and exit traffic from the Rock Gardens site connects vehicle flow directly into the I-70 No Name Interchange.

4. Even the occasional “special event” at the Community Building will have little external impact. A large portion of attendees will already be staying at Rock Gardens which is the purpose of the these events (increased site rentals during ”off season”). Some attendees may arrive from offsite but because of the No Name Interchange proximity, that short term traffic impact will be negligible.

## Compliance with PUD Minor Modification Review Criteria:

The following is an item-by-item description of how the proposed site plan modifications are compliant with the Review Criteria for a Minor Modification of a PUD as listed in Section 6-203.C of the County Land Use Code. The listed Criteria is shown in smaller text than the provided explanation of compatibility.

C. Review Criteria. Minor Modifications to a PUD are those that deviate from previously approved standards or rearrange/reconfigure elevations, structures, parking areas, landscape areas, utilities, or other site improvements in an approved PUD, and that meet all of the following criteria as applicable:

1. Conform to the Comprehensive Plan:

Since the proposed site plan revisions and uses are consistent with the Zone District Regulations of the Rock Gardens Planned Unit Development approved by BOCC Resolutions 2004-69 July 14, 2004 and revised on January 6, 2010, there is no conflict with the Comprehensive Plan. The one minor text amendment (addition) to the proposed to the Rock Gardens Zoning Regulations is not in conflict with the Comprehensive Plan.

2. Is consistent with the efficient development and the preservation of the character of the development:

The proposed site plans revisions and uses are consistent with the Zone District Regulations of the approved PUD and with the character of the existing development and uses. There is no change to the character of the development other than a reduction of the vehicular and guests activity level previously associated with the rafting operation.

3. Do not increase the density:

The following summarizes the types and number of uses shown on the approved PUD Site and Phasing Plan along with the number of units existing today and the totals with the proposed Modification.

	Approved	Existing Today	Proposed
RVs & Park Models	49	50	61

Camper Cabins	11	10	10
Tent Campsites	18	8	4
Existing Campsites	50	47	47
Residential Units	2	2	2
(Within Bldg also occupied by another Use By Right of this PUD)			
Total	130	115	124

The addition of the requested RV parking spaces does not exceed the total density/unit count included in the Approved Rock Gardens PUD. The 2010 amendment of that PUD did not alter the originally approved unit count.

Attached are engineering reports confirming there will be no increased impacts regarding traffic flow at the site or on water and sewer service capacities.

4. Do not decrease the amount of dedicated Open Space:

The proposed amendment does not alter the PUD Open Space District.

5. Do not affect, in a substantially adverse manner, either the enjoyment of the land abutting upon or across the road from the PUD or the public interest:

In the proposed area of the site plan modification there is an existing building and sun shelter which will be removed. The high level of tourist activity associated with the rafting services business will also be removed from that location thus reducing the activity and noise associated with the river rafting guests.

The existing residential property adjacent to the proposed modification area will be buffered by the addition of a property line screen fence to prevent Resort guests from trespassing onto the adjacent property. The general impact on the adjacent property will be reduced compared to the current rafting operation. Site surface disturbance will be revegetated where not protected by the all-weather surfaces of the proposed RV and auto parking.

6. Do not change the use category of the PUD between residential,

commercial, or industrial uses; and

The use category of the PUD will not be changed. The proposed new RV pads are proposed within the PUD's Camper Park & Commercial Recreation District which accommodates RVs and park models as a "Use, by right".

7. Will not be granted solely to confer a special benefit upon any person:

The proposed amendment will not provide any special benefit to an individual person.

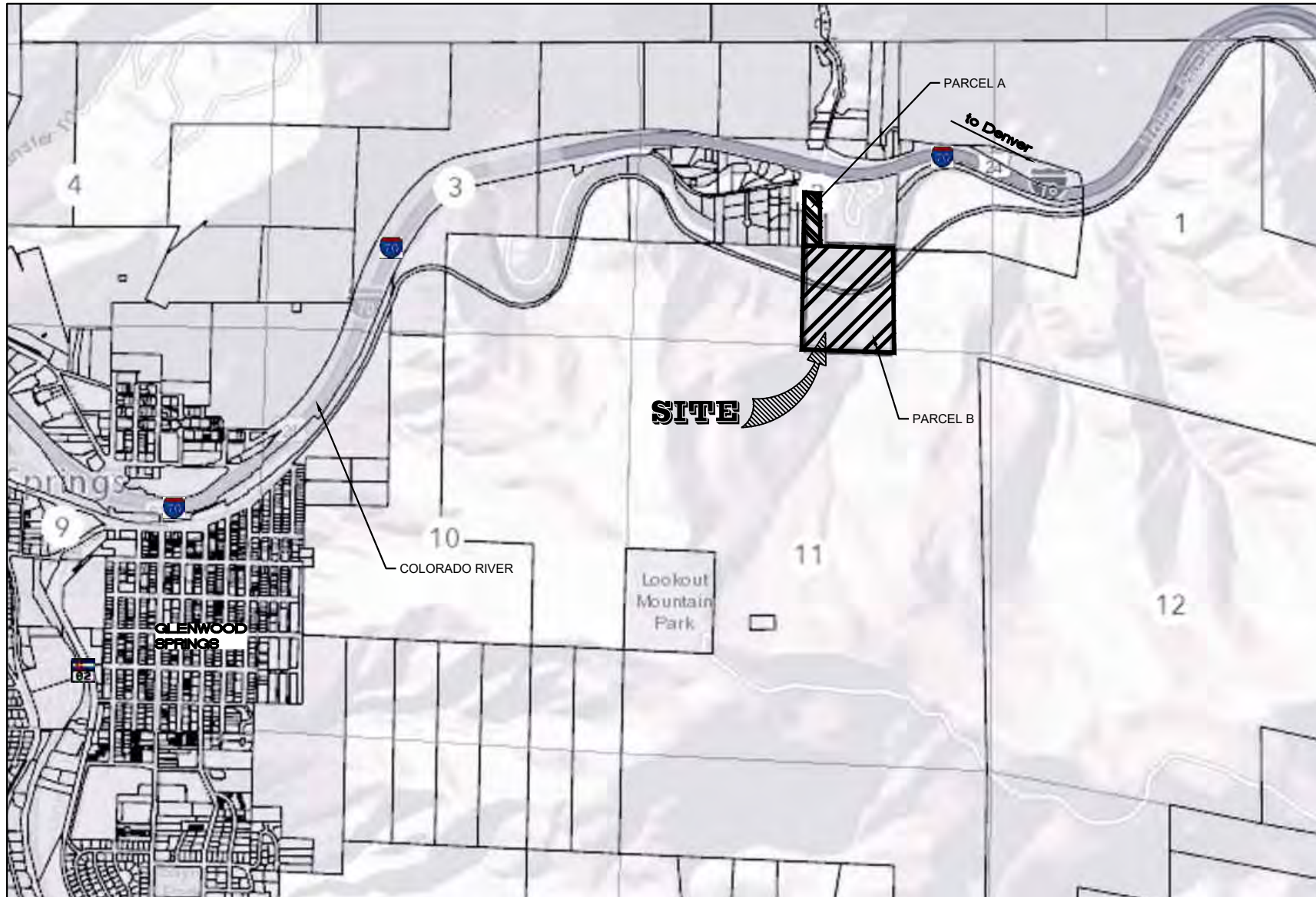
8. Shall not affect the rights of the residents, occupants, and owners of the PUD to maintain and enforce those provisions at law or in equity:

The proposed amendment is consistent with #8 criteria.

MINOR PLANNED UNIT DEVELOPMENT AMENDMENT

# GLENWOOD CANYON RESORT

GARFIELD COUNTY, COLORADO

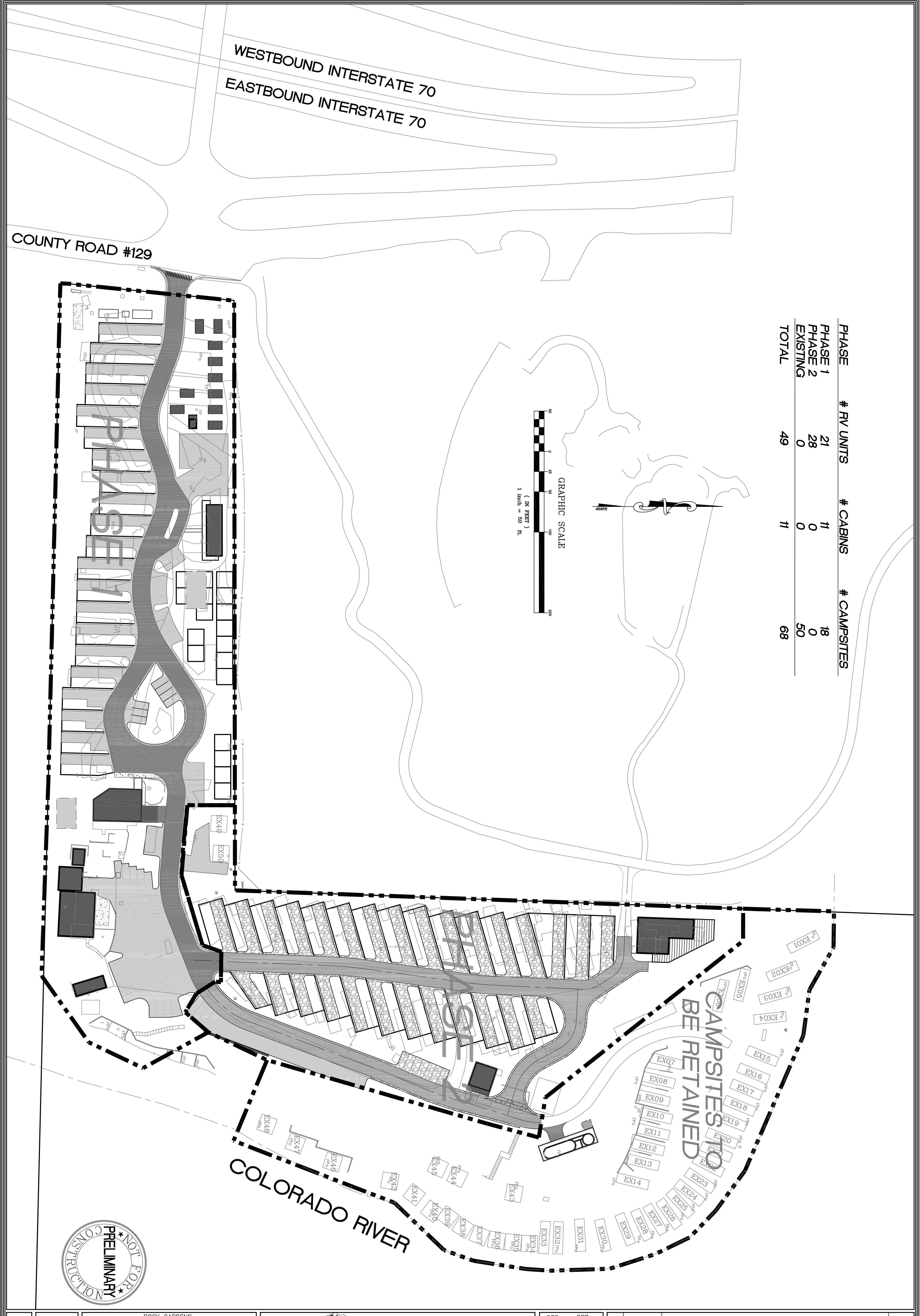


**HIGH COUNTRY ENGINEERING, INC.**  
 1517 BLAKE AVENUE, STE 101,  
 GLENWOOD SPRINGS, CO 81601  
 PHONE (970) 945-8676 FAX (970) 945-2555  
 WWW.HCENG.COM

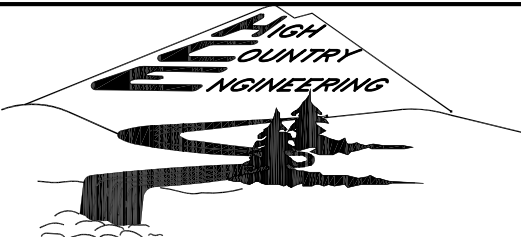
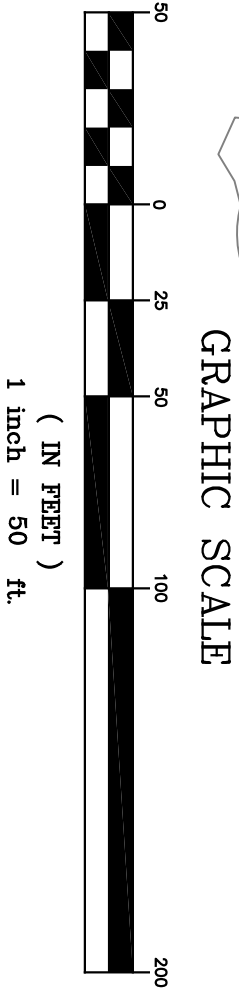
**HAN CAPITAL LLC**  
**GARFIELD COUNTY, COLORADO.**  
 PARCEL A AND PARCEL B  
 GLENWOOD CANYON RESORT  
 VICINITY MAP

DRAWN BY:	DMC	SCALE:	08/16/2024
CHECKED BY:	DRD	PROJECT NO:	2211002
DATE:	9/24/2024	PAGE:	1 OF 1
FILE:	J:2241002-1308CR129.GWS		





PHASE	# RV UNITS	# CABINS	# CAMPSITES
PHASE 1	21	11	18
PHASE 2	28	0	0
EXISTING	0	0	50
TOTAL	49	11	68



HIGH COUNTRY ENGINEERING, INC.  
1517 BLAKE AVENUE - SUITE 101  
GLENWOOD SPRINGS, CO 81601  
PH.(970) 945-8676 FX.(970) 945-2555

DES.	DRD
DR.	DRD
CK.	REW
DATE	9/30/03
FILE:	PHASING

NO.	DATE	REVISION	BY

ROCK GARDENS  
GARFIELD COUNTY, COLORADO  
ROCK GARDENS P.U.D.  
PHASING PLAN

PROJECT NO.  
99033.01



Rock Gardens PUD Minor Amendment Application  
Unit Summary Table - Original PUD, Existing & Proposed  
11/7/2024  
Approved by the 2004 Rock Gardens Planned Unit Development

	*RV Pads	Upper Level Cabins	Upper Level Tent Sites	River Terrace CampSites	Upper Level CampSites	**Residential Units
Phase 1	21	11	18	48		1
Phase 2	28	0	0		2	1
Total	49	11	18	48	2	2
Cumulative Total		130				

Note:

1. Rock Gardens PUD Zoning Regulations provided for Dormitory type Accomodations for a maximum of 16 persons within a building also occupied by another Use By Right of the PUD or Mobile Home or RV  
2. "River excursions" shown on the original PUD Phase I site plan are removed from the proposed site plan

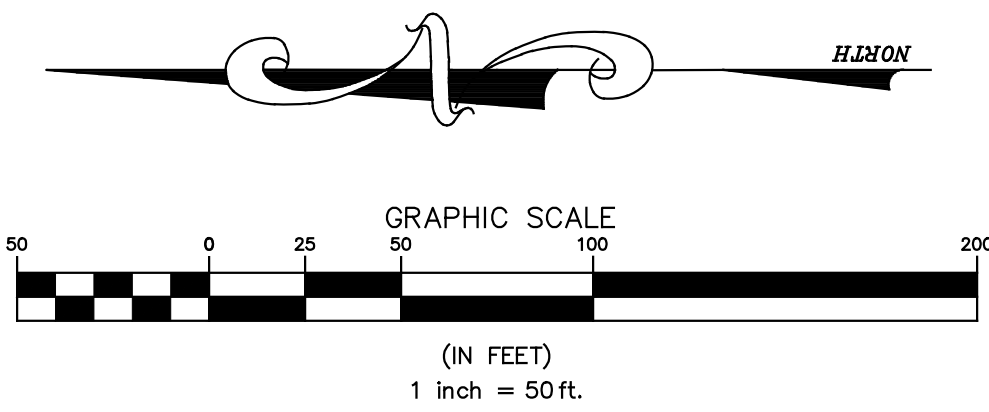
Proposed Minor PUD Amendment

	*RV Pads	Upper Level Cabins	Upper Level Tent Sites	River Terrace CampSites	River Terrace Cabins	**Residential Units
Existing	***50	10	4	41	4	2
Proposed	11	0				0
Total	61	10	4	41	4	2
Cumulative Total		122				

\*Accommodate RVs, Park Trailers & Mobile Homes

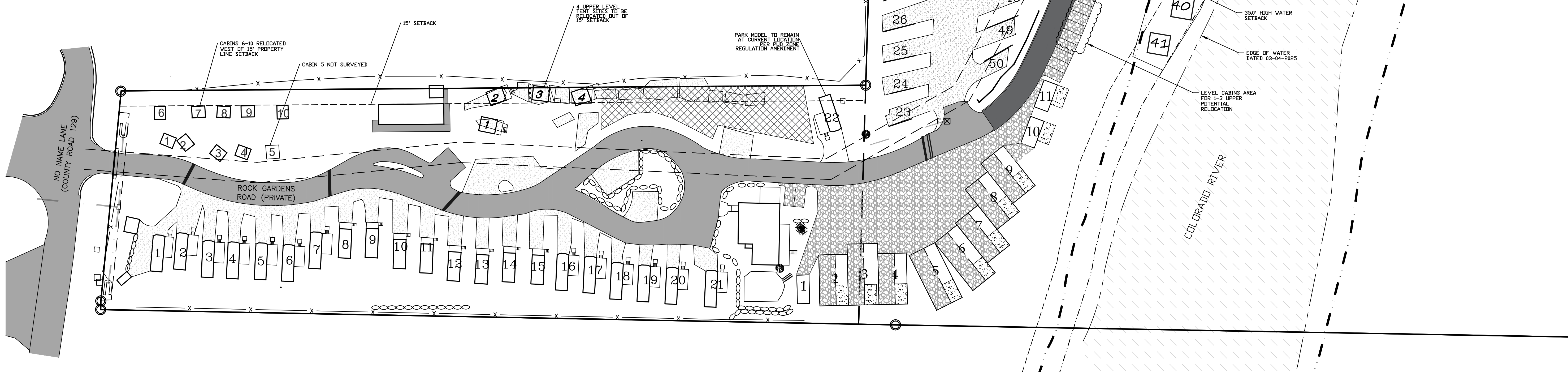
\*\* Units contained within a building also occupied by another Use By Right of this PUD

\*\*\*2 Upper Level Campsites were converted to One RV Pad several years ago



LEGEND

	PROPOSED DOG RUN AREA
	EXISTING ASPHALT PAVING
	PROPOSED ASPHALT PAVING
	EXISTING GRAVEL
	PROPOSED GRAVEL PAVING
	PROPOSED CONCRETE PATIO
	WATER
	EXISTING PROPERTY BOUNDARY
	SETBACK LINE
	SURVEYED EDGE OF WATER LINE (TUTTLE 2025 SURVEY)
	100-YR FLOODPLAIN (FROM 2004 PUD)
	SURVEYED HIGH WATER LINE (TUTTLE 2025 SURVEY)
	EXISTING PROPERTY FENCING
	RIVER TERRACE CAMPSITES
	RIVER TERRACE CAMPER CABINS
	EXISTING RV PAD SITES
	UPPER LEVEL CABINS
	UPPER LEVEL TENT SITES
	PROPOSED RV PAD SITES



CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
1-800-922-1987  
OR 934-06700 IN METRO DENVER  
CALL 2 BUSINESS DAYS IN ADVANCE  
FOR THE MARKING OF  
EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES

DRAWN BY: DRD  
CHECKED: DRD  
DATE: 09/25/2024  
FILE: SP

NO. 1  
DATE 2/12/25  
REVISION 2  
REVISED PER COUNTY COMMENTS, REVISED TO SHOW COLORADO RIVER FLOOD LIMITS.

BY DRD  
DRD

HIGH COUNTRY ENGINEERING, INC.  
1517 BLAKE AVENUE, STE 101,  
GLENWOOD SPRINGS, CO 81601  
PHONE (970) 945-8676 - FAX (970) 945-2555  
WWW.HCENG.COM

HAN CAPITOL  
GARFIELD COUNTY, COLORADO  
GLENWOOD CANYON RESORT  
PROPOSED PUD SITE

PROJECT NO.  
2241002

1 OF 1



## **LAND USE CHANGE PERMIT**

For

**Rock Gardens Planned Unit Development Located  
South of the I-70 Interchange at No Name on County  
Road 129, Garfield County**

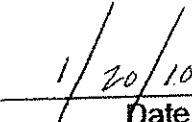
**Parcel Number: 2185-24-00-046**

In accordance with and pursuant to the provisions of the Garfield County Unified Land Use Resolution of 2008, as amended, the Director hereby authorizes the following amendment to the Rock Gardens Planned Unit Development:

**ADMINISTRATIVE APPROVAL TO ADD "ROPES CHALLENGE COURSE" AS  
A USE BY RIGHT WITHIN THE CAMPER PARK/COMMERCIAL RECREATION  
DISTRICT AS FURTHER DEFINED AND INDICATED ON ATTACHED EXHIBIT A,  
PUD ZONING REGULATIONS AND MAPS**

This Land Use Change Permit is issued subject to the original conditions set forth in Resolution 2004-69 and all other applicable provisions of the Garfield County Unified Land Use Resolution of 2008, as amended, Building Code, and other regulations of the Board of County Commissioners of Garfield County, Colorado. This Land Use Change Permit is issued under the authority granted to the Director of Building and Planning under Section 4-107 of the Unified Land Use Resolution of 2008, as amended.

  
Fred Jarman, AICP  
Director of Building and Planning

  
Date

Garfield County File Number PDAA6141

## ROCK GARDENS PLANNED UNIT DEVELOPMENT ZONE REGULATIONS

Revised July 14, 2004

Revised January 6, 2010

### 1.00 Regulating Authority

The provisions of these regulations shall prevail and govern the development of Rock Gardens PUD provided; however, where the provisions of the Rock Garden PUD Zone Regulations do not clearly address a specific subject, the ordinances, resolutions or regulations of Garfield County shall prevail. Definitions established herein shall take precedence over definitions established by the Zoning Regulation of Garfield County, adopted January 2, 1979 and as amended, wherever these regulations are applicable to the Rock Gardens PUD.

### 2.00 Definitions

- 2.01 Park Trailers: Sometimes referred to as Park Models, are recreational vehicles built on a single chassis, mounted on wheels with a gross trailer area not exceeding 400 square feet when set up. Each is certified by its manufacturer as complying with ANSI 119.5, a nationally recognized safety standard for Park Trailers that is mandated and enforced by the State of Colorado. Park Trailers are typically sited in Recreational Vehicle Parks for extended terms, typically several years.
- 2.02 Camping Cabin: An enclosed structure, sited on a temporary foundation, with no water or sewer services and containing not more than 150 square feet of enclosed gross floor area. A cabin typically provides sleeping berths for two to four people. Electric service is typically provided.
- 2.03 Challenge Course: A facility or facilities consisting of one or more ELEMENTS that challenge participants as part of a supervised educational, recreational, or therapeutic curriculum, not located in an amusement park.
- 2.04 Element: An apparatus which may include, but not be limited to, equipment designed to simulate rock climbing, beams, bridges, cable traverses, climbing walls, nets platforms, ropes, swings, towers, or zip lines that employ fall protection systems in their operation. Elements may be installed on or in trees, poles, portable structures, buildings, or be a part of a self-supporting structure. An element is designed specifically for challenging individuals or a group of individuals within a challenge course curriculum under the supervision of trained challenge course practitioners.

### **3.00 Zone Districts**

#### **3.01 Camper Park & Commercial Recreation District**

##### **3.01.01 Uses, by right:**

Camper Park accommodating sites for tent camping, recreational vehicles, park trailers, camping cabins and administration and service buildings normally accessory to a camper park., when compliant with the requirements of Section 5.00 the Rock Gardens PUD Zone Regulations.

Mobile Home Park, when compliant with the requirements of Section 5.00 the Rock Gardens PUD Zone Regulations.

Rooming House or Dormitory type residential accommodations exclusively for persons employed at the Rock Gardens up to a maximum of 16 persons within a building also occupied by another Use By Right of this PUD, or within a mobile home or recreational vehicle.

Residential dwelling contained within a building also occupied by another Use By Right of this PUD. A maximum of two such dwellings shall be allowed.

Sales, administration and operation of outdoor adventure tours including equipment outfitting, guide services, jeep tours, river excursions and the lease of rafts, kayaks, canoes, dory style river boats and other watercraft, bicycles and similar peddle-powered vehicles, backpacking and camping gear and rock climbing equipment. Indoor recreation services including video arcades games.

Retail sales of snack foods and beverages, convenience items, fishing tackle, photographic supplies, travel memorabilia and gifts, primarily for guest and clients of the on-site operations.

Photographic service associated with the on-site outdoor adventure tours operations.

Ropes Challenge Course (location of use limited by Zone District Map, Supplement 1/5/10))

Community building / meeting hall with kitchen.

Snack and sandwich bar with a maximum seating capacity of twenty chairs.

Beer and wine service at the community building and the snack and sandwich bar.

Sewage treatment facilities; wells, water storage and water treatment facilities for domestic and irrigation purposes, all exclusively providing service to uses within the Rock Gardens PUD and to surrounding properties, as may be approved by the Colorado Department Health.

- 3.01.02 Uses, conditional: NONE
- 3.01.03 Uses, special: NONE
- 3.01.04 Minimum Lot Area: One acre
- 3.01.05 Maximum Lot Coverage: Thirty-five percent (35%).
- 3.01.06 Minimum Setback:
- (1) Public Street Right-of-Way: Buildings, Recreational Vehicle parking spaces and Tent Camp Sites 25 feet
  - (2) Other PUD Boundaries:
    - Buildings & Recreational Vehicle parking spaces 15 feet
    - Tent Camp Sites 5 feet
- 3.01.07 Maximum Height of Buildings: Twenty-five (25) feet.
- 3.01.08 Maximum Floor Area Ratio: NONE
- 3.01.09 Parking Requirements:
- (1) Each camp site in addition to the area provided for a recreational vehicle or tent: One (1) parking space
  - (2) Each Park Trailer and Camping Cabin: One (1) parking space
  - (3) Retail sales: One (1) parking space per 500 square feet of retail sales floor area.
  - (4) Recreational Services: One parking space for every five (5) persons of the projected capacity of the recreation service.
  - (5) Mobile Home: Two (2) parking spaces
  - (6) Attached Single Family Dwelling: Two (2) parking spaces
  - (7) Employee Dormitory Lodging: One (1) parking space per every two (2) beds.
  - (8) General Criteria:

- i. Each parking space shall be a minimum of 9'x 19' of graveled surface.
- ii. Parking spaces shall be located within one hundred and fifty feet of a recreational vehicle or tent camper space, park trailer or camping cabin that it is intended to serve..

#### **4.01 Open Space District**

##### **4.01.01 Uses, by right:**

Open Space, Ropes challenge course, primitive trails.

**4.01.02 Uses, conditional:** NONE

**4.01.03 Uses, special:** NONE

**4.01.04 Minimum Lot Area:** One Acre

#### **5.00 Mobile Home Park and Camper Park Regulations**

##### **5.01 Site Requirements Applicable Only to New Mobile Home Facilities:**

- (1) **Minimum Space Size:** Each mobile home space shall contain at least thirty-six hundred (3,600) square feet of area exclusive of access driveways.
- (2) **Maximum Space Coverage:** The inhabitable floor area of the mobile home shall cover no more than thirty-five percent (35%) of the space upon which it is located. Appurtenant enclosed structures and covered porches shall cover no more than fifteen (15) percent of the mobile home space.
- (3) **Minimum Separation of Mobile Homes:** The minimum space between any two mobile homes shall be 20 feet. The Minimum separation between appurtenant structures and mobile homes on adjacent spaces shall be twelve (12) feet. There is no minimum separation between appurtenant structures.
- (4) The area of placement for the mobile home shall be graded for drainage and the mobile home supported in a manor to prevent shifting or settling of the mobile home.
- (5) Each mobile home space shall provide two (2), 9'x 19' graveled or paved parking spaces.
- (6) **Driveways:** The minimum unobstructed width of internal access driveways shall be twenty-four (24) feet, providing no parking is permitted thereon.

##### **5.02 Site Requirements Applicable Only to New Camper Space Facilities:**

- (1) **Setbacks:** All recreational vehicle parking spaces shall observe the minimum setbacks established by the Rock Gardens PUD Zone Regulations.
- (2) **Tent Camper Spaces:** The minimum on-center distance between tent sites shall be twenty (20) feet. Each space shall contain a well-drained, reasonably level tent site. Each space shall be provided a graveled parking space within approximately 150 feet of the tent site. Parking for a group tent camping site may be located at a greater distance.

(3) **Recreational Vehicle Spaces:** The minimum on-center distance between recreational vehicles parking spaces shall be twenty-five (25) feet. Each graveled or paved recreational parking space shall be a minimum width of twelve (12) feet and a minimum length of twenty-four (24) feet. In addition to the RV parking space, one 9'x19' parking space will be provided within 150 feet of each RV space. This parking space may be located at end of or adjacent to the RV parking space.

(4) **Driveways:** The minimum unobstructed width of access driveways shall be fifteen feet (15) feet for one-way traffic or twenty-two (22) feet for two-way traffic with a two foot gravel shoulder, providing no parking is permitted thereon. Driveways may be of gravel surface.

(5) All permanent building foundations shall be designed based on a site-specific geotechnical study

#### **5.03 Water Supply and Distribution; General Requirements:**

(1) The physical and legal supply of domestic water shall be consistent with the Rock Gardens PUD as approved by Garfield County and shall be in compliance with the drinking water standards of the Colorado Department of Health

(2) The water supply, treatment, storage and distribution systems shall be designed by a professional engineer licensed by the State of Colorado and which designs shall be in accordance with applicable regulations of the Colorado Department of Health.

(3) All recreational vehicle parking spaces shall be provided with a domestic water service connection.

(4) A water service station shall be provided within one hundred and fifty (150) feet of each tent camping site.

#### **5.04 Fire Protection; General Requirements:**

(1) Provisions shall be made for giving alarm in case of fire. It shall be the responsibility of the duly authorized attendant or caretaker to inform all tenants about means for summoning fire apparatus, sheriff's department and park employees. No open fires shall be left unattended at any time.

(2) One (1) or more approved carbon dioxide or dry chemical extinguishers of a type suitable for flammable liquid or electrical fires (Class B and Class C) shall be located in an open station within approximately hundred (100) feet of any tent site and recreational vehicle parking space.

(3) Any new domestic water distribution system construction shall have fire hydrants located as approved by the Glenwood Springs Fire Department.

(4) Fire suppression sprinkler systems meeting NFPA 13, 1999 in the new community building, additions to the office and residence complex and the expanded storage/maintenance shop. At the time of expansion, the existing portions of these structures shall be retrofitted with fire suppression sprinklers.

(5) All buildings with fire suppression sprinkler systems shall also be equipped with an alarm system designed to NFPA 71, 1999 standards and monitored by a UL listed central station.

#### **5.05 Sewage Disposal; General Requirements:**

(1) The sewage collection system and sewage treatment facility shall be designed by a professional engineer licensed in the State of Colorado. These systems shall meet all applicable requirements of the Colorado Department of Health and shall be consistent with the sewage collection and treatment system conceptually defined by the Rock Gardens PUD.

(2) Sink Wastes: No liquid wastes from sinks shall be allowed to accumulate on the ground surface. Gravel dry wells may be provided for the disposal of liquid sink wastes in the area of the tent camping sites.

#### 5.06 Electrical Distribution and Exterior Lighting:

(1) The electrical distribution system, consisting of wiring, fixtures, equipment and appurtenances thereto which shall be installed and maintained in accordance with the USA Standard "National Electrical Code, 1971" and all subsequent amendments thereto. All plans for the above services shall have the approval of the responsible utility prior to county approval of park plans.

(2) All exterior lights shall be recessed or full cut-off fixtures that eliminate or substantially reduce direct view of the light source. Continuous and regular use of exterior flood lighting is prohibited. Security/safety lighting, with or without motion detectors shall be allowed when directed inward on the property.

#### 5.07 Service Facilities: General Requirements: Service facilities shall be provided at locations specified on the Rock Gardens PUD Site Plan.

(1) All portions of the structure shall be properly protected from damage by ordinary uses and by decay, corrosion, termites and other destructive elements. Exterior portions shall be of such materials and be so constructed and protected as to prevent entrance or penetration of moisture and weather;

(2) All rooms containing sanitary or laundry facilities shall have sound-resistant walls extending to the ceiling between male and female sanitary facilities. Walls and partitions around showers, bathtubs, lavatories and other plumbing fixtures shall be constructed of dense, non-absorbent waterproof material or covered with moisture resistant material;

(3) Each room containing sanitary or laundry facilities shall have at least one (1) window or skylight facing directly to the outdoors. The minimum aggregate gross area of windows for each room shall be not less than ten percent (10%) of the floor area served by them. Each room shall have at least one (1) window which can be easily opened, or a mechanical device which will adequately ventilate the room;

(4) Toilets shall be located in separate compartments.. Shower stalls shall be of the individual type. The rooms shall be screened to prevent direct view of the interior when the exterior doors are open;

(5) Illumination levels shall be maintained as follows:

(i) general seeing tasks - five (5) footcandles;

(ii) laundry room work area - forty (40) footcandles;

(iii) toilet room in front of mirrors - forty (40) footcandles;

(6) Hot and cold water shall be furnished to every lavatory, sink, bathtub, shower and laundry fixture, and cold water shall be furnished to every closet and urinal.

#### 5.08 Campfire and Fire Pits:

(1) No fire pits are allowed in the Phase I and Phase II areas except for one common use fire pit at each of the following locations:

i. In lawn area immediately south of the main office building

ii. In the central areas of the tent camp sites



iii. In the general area of the Camper Cabins.

- (2) Existing fire pits may remain at campsites on the lower river terrace.
- (3) Charcoal or gas BBQ grills are allowed at individual camper sites.

**5.09 Supervision: General Requirements:**

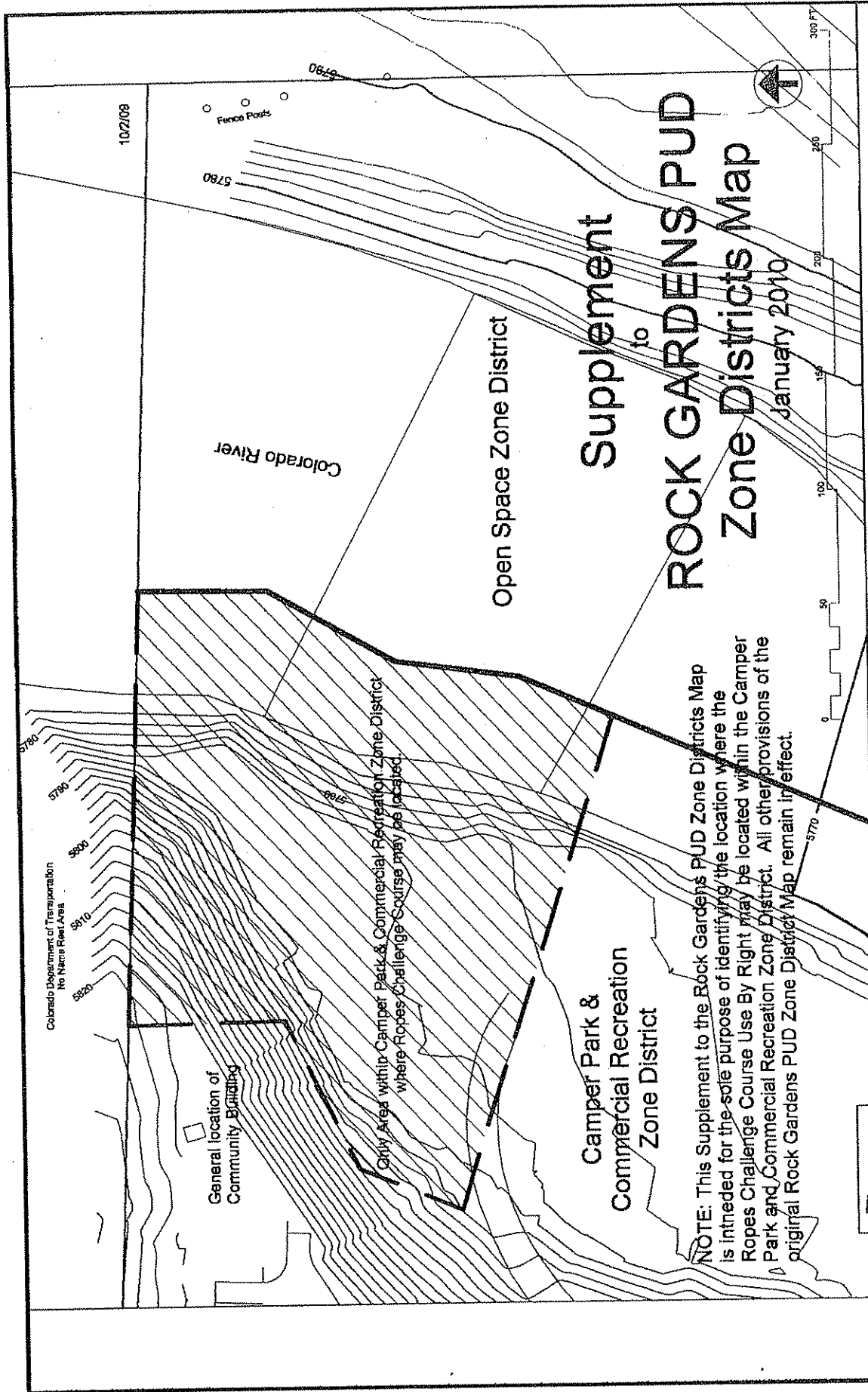
- (1) The duly authorized attendant or caretaker shall be in charge at all times to keep the park, its facilities and equipment in a clean, orderly and sanitary condition;
- (2) The owner shall be answerable for the violation of any provision of this Zone Regulation and other applicable County and State regulations. Copies of Regulations shall be made available to the park residents by the park manager or owner;
- (3) Refuse Handling: The storage, collection and disposal of refuse in mobile home parks and camper parks shall be so arranged as to create no health hazards, rodent harborage, insect breeding areas, accident or fire hazards, or air pollution. All Refuse containers shall be bear proof. All refuse shall be disposed of at either a municipal or County designated landfill site;
- (4) Pest Control: Grounds, buildings and structures shall be maintained free of insect and rodent harborage and infestation. Extermination methods and other measures to control insects and rodents shall conform to the requirements of the County Environmental Health Officer and the Colorado State Department of Health;
- (5) Pet Control: no owner or person in charge of any dog, cat or other pet animal shall permit it to run at large or commit any nuisance within the limits of any mobile home or camper park. All dogs shall be kept on leash.
- (6) The owners shall control County listed noxious weeds.
- (7) A "No Trespassing" sign with a minimum dimension of 24"x 18" shall be placed immediately above the normal high-water line on the north bank of the Colorado River at the west boundary of the Rock Gardens property. "No Trespassing" signs with a minimum dimension of 8"x 10" shall be placed at 50 foot intervals in the west property fence.
- (8) All camper park guests shall, upon registration, be provided with rules to be observed by camper park guests. Said rules shall included but are not limited to guidelines for noise, quiet hours, refuse handling, interaction with wildlife, use of BBQ grills, restrictions on campfires, guidelines for being good neighbors when walking in the neighborhoods outside of the Rock Gardens site and strict warnings about no trespassing on properties down river from the Rock Gardens property.
- (9) Weed Management: The owner shall be responsible for maintaining an ongoing weed management program as discussed in the VEGETATION REPORT prepared by Beattie Wildlife Consultant, Inc. and dated June 2004.

**5.10 Length of Stay in Camper Park:** Occupancy in a Rock Gardens camper park space by any individual shall be limited to no more than one hundred twenty (120) days per year. The Length of Stay limitation does not apply to Rock Gardens employee housing or to mobile homes.

**6.00 Ropes Challenge Course Regulations**

**6.01 Hours of Operation:** 8:00 AM to 9:00 PM

**6.02 Lighting:** Lighting of the Ropes Challenge Course for operation during hours of darkness shall not be allowed. Manual and motion sensor controlled security lighting may be used.



# Supplement to ROCK GARDENS PUD Zone Districts Map

January 2010

NOTE: This Supplement to the Rock Gardens PUD Zone Districts Map is intended for the sole purpose of identifying the location where the Ropes Challenge Course Use By Right may be located within the Camper Park and Commercial Recreation Zone District. All other provisions of the original Rock Gardens PUD Zone District Map remain in effect.

Location of Supplement Graphic  
within Rock Gardens Property

Title		Supplement to Rock Gardens PUD Zone Distk. Map	
Drawing Number	0011.2	Drawn By	RBL
Date	1/5/2010		
CAD File Name		PUD Plan - 1-2010	

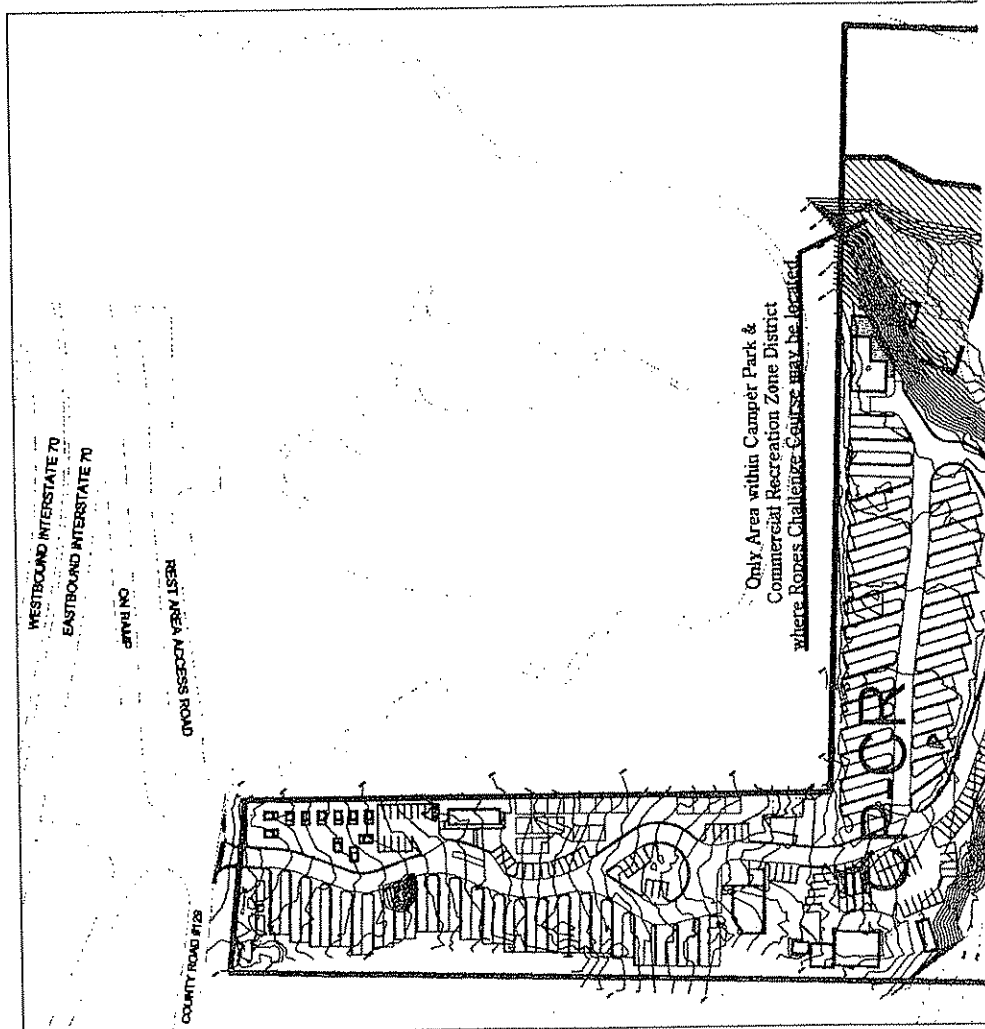


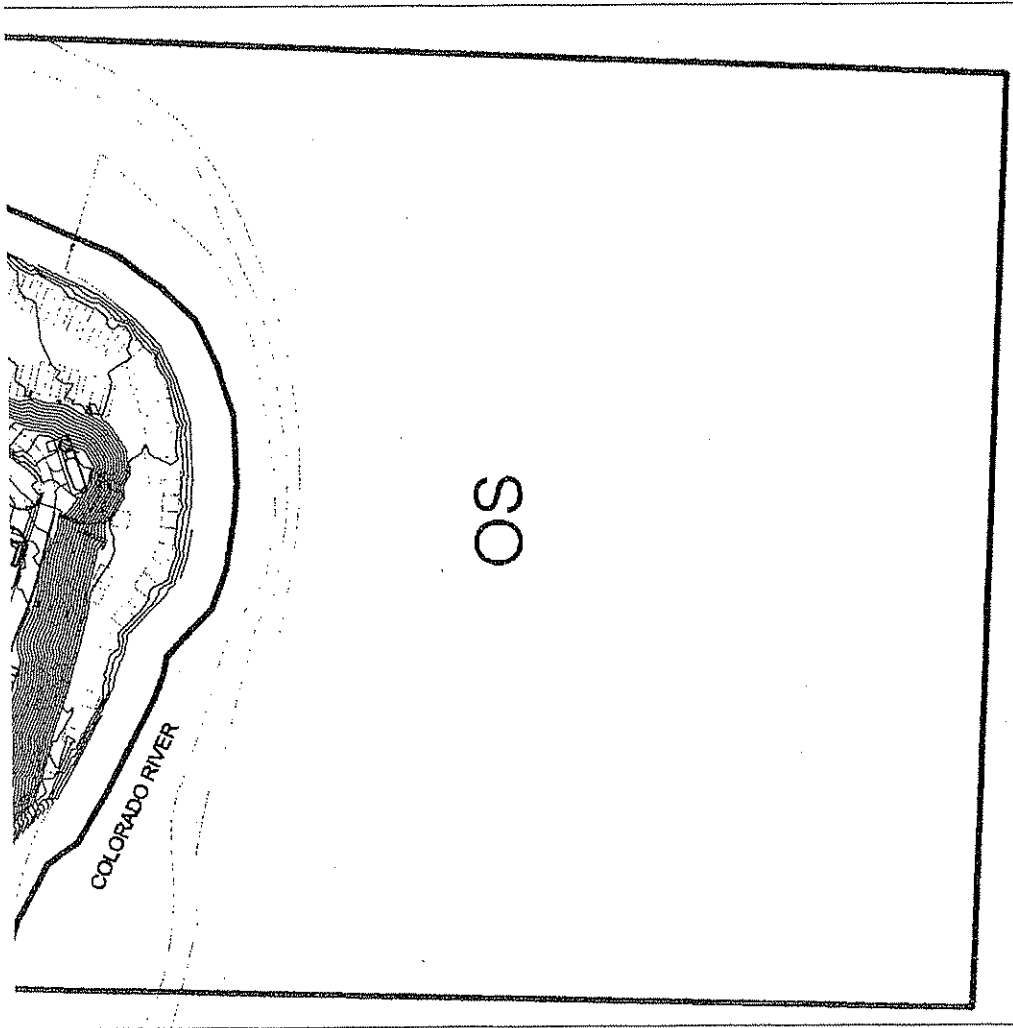
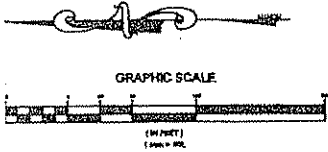
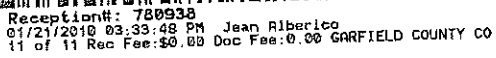
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01/21/2010 03:35:48 PM Jean Alberico  
9 of 11 Rec Fee: \$0.00 Doc Fee: \$0.00 GARFIELD COUNTY CO


**ZONING**

CP-CR: CAMPER PARK AND COMMERCIAL RECREATION DISTRICT	12.89 ACRES
OS: OPEN SPACE	30.17 ACRES
TOTAL SITE AREA	43.06 ACRES

Supplemental information regarding ropes challenge course location limitations within the Camper Park- Commercial Recreation District added to PUD Zoning Map January 15, 2010.





PROJECT NO. P00035	ROCK GARDENS GARFIELD COUNTY, COLORADO ROCK GARDENS P.U.D. ZONING MAP				<b>HIGH COUNTRY ENGINEERING, INC.</b> 14 HYDEWOOD DRIVE EAST, STE 100, FORT LIPSOMB, CO 80112 PHONE 303 828-8844 FAX 303 828-8447 1817 BLAINE AVENUE, STE 101, GLENWOOD SPRINGS, CO 81601 PHONE 970 737-5000 WWW.HCEINC.COM		Project #: DRAWING NO.:	NO. DATE 7/27/04	DESIGNER 7/27/04	BY CALL LUTY INSTRUMENTATION CENTER OF COLORADO 1400 9622-1857 ON 34-10000 IN METRO CENTER CALL LUTY INSTRUMENTATION CENTER OF COLORADO 1400 9622-1857 ON 34-10000 IN METRO CENTER
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**ROCK GARDENS PLANNED UNIT DEVELOPMENT  
ZONE REGULATIONS  
Revised July 14, 2004  
Revised January 6, 2010  
Revised August 9, 2024**

**1.00 Regulating Authority**

The provisions of these regulations shall prevail and govern the development of Rock Gardens PUD provided; however, where the provisions of the Rock Garden PUD Zone Regulations do not clearly address a specific subject, the ordinances, resolutions or regulations of Garfield County shall prevail. Definitions established herein shall take precedence over definitions established by the Zoning Regulation of Garfield County, adopted January 2, 1979 and as amended, wherever these regulations are applicable to the Rock Gardens PUD.

**2.00 Definitions**

- 2.01 Park Trailers: Sometimes referred to as Park Models, are recreational vehicles built on a single chassis, mounted on wheels with a gross trailer area not exceeding 400 square feet when set up. Each is certified by its manufacturer as complying with ANSI 119.5, a nationally recognized safety standard for Park Trailers that is mandated and enforced by the State of Colorado. Park Trailers are typically sited in Recreational Vehicle Parks for extended terms, typically several years.
- 2.02 Camping Cabin: An enclosed structure, sited on a temporary foundation, with no water or sewer services and containing not more than 150 square feet of enclosed gross floor area. A cabin typically provides sleeping berths for two to four people. Electric service is typically provided.
- 2.03 Challenge Course: A facility or facilities consisting of one or more ELEMENTS that challenge participants as part of a supervised educational, recreational, or therapeutic curriculum, not located in an amusement park.
- 2.04 Element: An apparatus which may include, but not limited to, equipment designed to simulate rock climbing, beams, bridges, cable traverses, climbing walls, nets platforms, ropes, swings, towers, or zip lines that employ fall protection systems in their operation. Elements may be installed on or in trees, poles, portable structures, buildings, or challenging individuals or a group of individuals within a challenge course curriculum under supervision of trained challenge course practitioners,

**3.00 Zone Districts**

**3.01 Camper Park & Commercial Recreation District**

3.01.01 Uses, by right:

Camper Park accommodating sites for tent camping, recreational vehicles, park trailers, camping cabins and administration and service buildings normally accessory to a camper park., when compliant with the requirements of Section 5.00 the Rock Gardens PUD Zone Regulations.

Mobile Home Park, when compliant with the requirements of Section 5.00 the Rock Gardens PUD Zone Regulations.

Rooming House or Dormitory type residential accommodations exclusively for persons employed at the Rock Gardens up to a maximum of 16 persons within a building also occupied by another Use By Right of this PUD, or within a mobile home or recreational vehicle.

Residential dwelling contained within a building also occupied by another Use By Right of this PUD. A maximum of two such dwellings shall be allowed.

Sales, administration and operation of outdoor adventure tours including equipment outfitting, guide services, jeep tours, river excursions and the lease of rafts, kayaks, canoes, dory style river boats and other watercraft, bicycles and similar peddle-powered vehicles, backpacking and camping gear and rock-climbing equipment. Indoor recreation services including video arcades games.

Retail sales of snack foods and beverages, convenience items, fishing tackle, photographic supplies, travel memorabilia and gifts, primarily for guest and clients of the on-site operations.

Photographic service associated with the on-site outdoor adventure tours operations.

Ropes Challenge Course (location of use limited by Zone District Map, Supplement 1/5/10).

Community building / meeting hall with kitchen. The Community Building and associated food and beverage facilities may be utilized for special events such as weddings and celebration parties particularly during, but not limited to, the Off-Season for RV camping. Additional guest parking may be provided on unoccupied RV vehicle spaces.

Snack and sandwich bar with a maximum seating capacity of twenty chairs.

Beer and wine service at the community building and the snack and sandwich bar.

Sewage treatment facilities; wells, water storage and water treatment facilities for domestic and irrigation purposes, all exclusively providing service to uses within the Rock Gardens PUD and to surrounding properties, as may be approved by the Colorado Department Health.

- |         |  |   |
|---------|--|---|
| 3.01.02 | <u>Uses, conditional:</u>  | NONE  |
| 3.01.03 | <u>Uses, special:</u>  | NONE  |
| 3.01.04 | <u>Minimum Lot Area:</u>   | One acre  |
| 3.01.05 | <u>Maximum Lot Coverage:</u>   | Thirty-five percent (35%).  |
| 3.01.06 | <u>Minimum Setback:</u>  |   |
|         | (1) Public Street Right-of-Way: Buildings, Recreational Vehicle parking spaces and Tent Camp Sites | 25 feet   |
|         | (2) Other PUD Boundaries:  |   |
|         | Buildings & Recreational Vehicle parking spaces  | 15 feet   |
|         | Tent Camp Sites  | 5 feet  |
| 3.01.07 | <u>Maximum Height of Buildings:</u>  | Twenty-five (25) feet.  |
| 3.01.08 | <u>Maximum Floor Area Ratio:</u>   | NONE  |
| 3.01.09 | <u>Parking Requirements:</u>   |   |
|         | (1) Each camp site in addition to the area provided for a recreational vehicle or tent:            | One (1) parking space   |
|         | (2) Each Park Trailer and Camping Cabin:   | One (1) parking space   |
|         | (3) Retail sales:  | One (1) parking space per 500 square feet of retail sales floor area.                             |
|         | (4) Recreational Services:   | One parking space for every five (5) persons of the projected capacity of the recreation service. |
|         | (5) Mobile Home:   | Two (2) parking spaces  |
|         | (6) Attached Single Family Dwelling:   | Two (2) parking spaces  |
|         | (7) Employee Dormitory Lodging:  | One (1) parking space per every two (2) beds.   |
|         | (8) General Criteria:  |   |

- i. Each parking space shall be a minimum of 9'x 19' of graveled surface.
- ii. Parking spaces shall be located within one hundred and fifty feet of a recreational vehicle or tent camper space, park trailer or camping cabin that it is intended to serve.

#### **4.01 Open Space District**

##### **4.01.01 Uses, by right:**

Open Space, Ropes challenge course, primitive trails.

##### **4.01.02 Uses, conditional: NONE**

##### **4.01.03 Uses, special: NONE**

##### **4.01.04 Minimum Lot Area: One Acre**

#### **5.00 Mobile Home Park and Camper Park Regulations**

##### **5.01 Site Requirements Applicable Only to New Mobile Home Facilities:**

(1) Minimum Space Size: Each mobile home space shall contain at least thirty-six hundred (3,600) square feet of area exclusive of access driveways.

(2) Maximum Space Coverage: The inhabitable floor area of the mobile home shall cover no more than thirty-five percent (35%) of the space upon which it is located. Appurtenant enclosed structures and covered porches shall cover no more than fifteen (15) percent of the mobile home space.

(3) Minimum Separation of Mobile Homes: The minimum space between any two mobile homes shall be 20 feet. The Minimum separation between appurtenant structures and mobile homes on adjacent spaces shall be twelve (12) feet. There is no minimum separation between appurtenant structures.

(4) The area of placement for the mobile home shall be graded for drainage and the mobile home supported in a manor to prevent shifting or settling of the mobile home.

(5) Each mobile home space shall provide two (2), 9'x 19' graveled or paved parking spaces.

(6) Driveways: The minimum unobstructed width of internal access driveways shall be twenty-four (24) feet, providing no parking is permitted thereon.

##### **5.02 Site Requirements Applicable Only to New Camper Space Facilities:**

(1) Setbacks: All recreational vehicle parking spaces shall observe the minimum setbacks established by the Rock Gardens PUD Zone Regulations.

(2) Tent Camper Spaces: The minimum on-center distance between tent sites shall be twenty (20) feet. Each space shall contain a well-drained, reasonably level tent site. Each space shall be



provided a graveled parking space within approximately 150 feet of the tent site. Parking for a group tent camping site may be located at a greater distance.

(3) Recreational Vehicle Spaces: The minimum on-center distance between recreational vehicles parking spaces shall be twenty-five (25) feet. Each graveled or paved recreational parking space shall be a minimum width of twelve (12) feet and a minimum length of twenty-four (24) feet. In addition to the RV parking space, one 9'x19' parking space will be provided within 150 feet of each RV space. This parking space may be located at end of or adjacent to the RV parking space.

(4) Driveways: The minimum unobstructed width of access driveways shall be fifteen feet (15) feet for one-way traffic or twenty-two (22) feet for two-way traffic with a two foot gravel shoulder, providing no parking is permitted thereon. Driveways may be of gravel surface.

(5) All permanent building foundations shall be designed based on a site-specific geotechnical study

#### 5.03 Water Supply and Distribution; General Requirements:

(1) The physical and legal supply of domestic water shall be consistent with the Rock Gardens PUD as approved by Garfield County and shall be in compliance with the drinking water standards of the Colorado Department of Health

(2) The water supply, treatment, storage and distribution systems shall be designed by a professional engineer licensed by the State of Colorado and which designs shall be in accordance with applicable regulations of the Colorado Department of Health.

(3) All recreational vehicle parking spaces shall be provided with a domestic water service connection.

(4) A water service station shall be provided within one hundred and fifty (150) feet of each tent camping site.

#### 5.04 Fire Protection; General Requirements:

(1) Provisions shall be made for giving alarm in case of fire. It shall be the responsibility of the duly authorized attendant or caretaker to inform all tenants about means for summoning fire apparatus, sheriff's department and park employees. No open fires shall be left unattended at any time.

(2) One (1) or more approved carbon dioxide or dry chemical extinguishers of a type suitable for flammable liquid or electrical fires (Class B and Class C) shall be located in an open station within approximately hundred (100) feet of any tent site and recreational vehicle parking space.

(3) Any new domestic water distribution system construction shall have fire hydrants located as approved by the Glenwood Springs Fire Department.

(4) Fire suppression sprinkler systems meeting NFPA 13, 1999 in the new community building, additions to the office and residence complex and the expanded storage/maintenance shop. At the time of expansion, the existing portions of these structures shall be retrofitted with fire suppression sprinklers .

(5) All buildings with fire suppression sprinkler systems shall also be equipped with an alarm system designed to NFPA 71, 1999 standards and monitored by a UL listed central station.

#### 5.05 Sewage Disposal; General Requirements:

(1) The sewage collection system and sewage treatment facility shall be designed by a professional engineer licensed in the State of Colorado. These systems shall meet all applicable

requirements of the Colorado Department of Health and shall be consistent with the sewage collection and treatment system conceptually defined by the Rock Gardens PUD.

(2) Sink Wastes: No liquid wastes from sinks shall be allowed to accumulate on the ground surface. Gravel dry wells may be provided for the disposal of liquid sink wastes in the area of the tent camping sites.

#### 5.06 Electrical Distribution and Exterior Lighting:

(1) The electrical distribution system, consisting of wiring, fixtures, equipment and appurtenances thereto which shall be installed and maintained in accordance with the USA Standard "National Electrical Code, 1971" and all subsequent amendments thereto. All plans for the above services shall have the approval of the responsible utility prior to county approval of park plans.

(2) All exterior lights shall be recessed or full cut-off fixtures that eliminate or substantially reduce direct view of the light source. Continuous and regular use of exterior flood lighting is prohibited. Security/safety lighting, with or without motion detectors shall be allowed when directed inward on the property.

#### 5.07 Service Facilities; General Requirements: Service facilities shall be provided at locations specified on the Rock Gardens PUD Site Plan.

(1) All portions of the structure shall be properly protected from damage by ordinary uses and by decay, corrosion, termites and other destructive elements. Exterior portions shall be of such materials and be so constructed and protected as to prevent entrance or penetration of moisture and weather;

(2) All rooms containing sanitary or laundry facilities shall have sound-resistant walls extending to the ceiling between male and female sanitary facilities. Walls and partitions around showers, bathtubs, lavatories and other plumbing fixtures shall be constructed of dense, non-absorbent waterproof material or covered with moisture resistant material;

(3) Each room containing sanitary or laundry facilities shall have at least one (1) window or skylight facing directly to the outdoors. The minimum aggregate gross area of windows for each room shall be not less than ten percent (10%) of the floor area served by them. Each room shall have at least one (1) window which can be easily opened, or a mechanical device which will adequately ventilate the room;

(4) Toilets shall be located in separate compartments. Shower stalls shall be of the individual type. The rooms shall be screened to prevent direct view of the interior when the exterior doors are open;

(5) Illumination levels shall be maintained as follows:

(i) general seeing tasks - five (5) footcandles;

(ii) laundry room work area - forty (40) footcandles;

(iii) toilet room in front of mirrors - forty (40) footcandles;

(6) Hot and cold water shall be furnished to every lavatory, sink, bathtub, shower and laundry fixture, and cold water shall be furnished to every closet and urinal.

#### 5.08 Campfire and Fire Pits:

(1) No fire pits are allowed in the Phase I and Phase II areas except for one common use fire pit at each of the following locations:

- i. In lawn area immediately south of the main office building
  - ii. In the central areas of the tent camp sites
  - iii. In the general area of the Camper Cabins.
- (2) Existing fire pits may remain at campsites on the lower river terrace.
- (3) Charcoal or gas BBQ grills are allowed at individual camper sites.

#### 5.09 Supervision; General Requirements:

- (1) The duly authorized attendant or caretaker shall be in charge at all times to keep the park, its facilities and equipment in a clean, orderly and sanitary condition;
- (2) The owner shall be answerable for the violation of any provision of this Zone Regulation and other applicable County and State regulations. Copies of Regulations shall be made available to the park residents by the park manager or owner;
- (3) Refuse Handling: The storage, collection and disposal of refuse in mobile home parks and camper parks shall be so arranged as to create no health hazards, rodent harborage, insect breeding areas, accident or fire hazards, or air pollution. All Refuse containers shall be bear proof. All refuse shall be disposed of at either a municipal or County designated landfill site;
- (4) Pest Control: Grounds, buildings and structures shall be maintained free of insect and rodent harborage and infestation. Extermination methods and other measures to control insects and rodents shall conform to the requirements of the County Environmental Health Officer and the Colorado State Department of Health;
- (5) Pet Control: no owner or person in charge of any dog, cat or other pet animal shall permit it to run at large or commit any nuisance within the limits of any mobile home or camper park. All dogs shall be kept on leash.
- (6) The owners shall control County listed noxious weeds.
- (7) A “No Trespassing” sign with a minimum dimension of 24”x 18” shall be placed immediately above the normal high-water line on the north bank of the Colorado River at the west boundary of the Rock Gardens property. “No Trespassing” signs with a minimum dimension of 8”x 10” shall be placed at 50 foot intervals in the west property fence.
- (8) All camper park guests shall, upon registration, be provided with rules to be observed by camper park guests. Said rules shall included but are not limited to guidelines for noise, quiet hours, refuse handling, interaction with wildlife, use of BBQ grills, restrictions on campfires, guidelines for being good neighbors when walking in the neighborhoods outside of the Rock Gardens site and strict warnings about no trespassing on properties down river from the Rock Gardens property.
- (9) Weed Management: The owner shall be responsible for maintaining an ongoing weed management program as discussed in the VEGETATION REPORT prepared by Beattie Wildlife Consultant, Inc. and dated June 2004.

5.10 Length of Stay in Camper Park: Occupancy in a Rock Gardens camper park space by any individual shall be limited to no more than one hundred twenty (120) days per year. The Length of Stay limitation does not apply to Rock Gardens employee housing or to mobile homes.

## **6.00 Ropes Challenge Course Regulations**

6.01 Hours of Operation: 8:00 AM to 9:00 PM

6.02 lighting: Lighting of the Ropes Challenge Course for operation during hours of darkness shall not be allowed. Manual and motion sensor controlled security lighting may be used.

## Impact Analysis - Rock Gardens PUD Amendment 8-9-24

As directed by the Community Development Department Pre-Application Conference Summary letter, the following address specifically identified sections in 4-203 of the Land Use Code.

Section 1. Adjacent Land Use. The removal of the rafting guiding operation in the southwest area of the property will reduce the impact on the adjacent residential property. The rafting operation involved significant numbers of rafting guest circulating in that area along with multiple daily arrival and departure of busses pulling rafts as well as smaller vehicles. Rafting activity buses will no longer be parked on the site. This activity will be replaced by occasional (ranging from daily to weekly) arrival and departure of recreational vehicles from four RV parking spaces that could be visible from the adjacent property. There will be a much smaller population of guests associated with those RVs than experienced rafting guests. Previously, in that area, there were three existing structures, which are proposed to be removed, or by this reading, have already been removed. Existing vegetation has historically provided visual buffer to the adjacent residential property. Proposed tree and shrub plantings along the west property line will supplement that buffering. In addition, a visually attractive security fence will be installed along the entire west property line of the property.

Section 2. Site Features. On the area of the previous rafting operation there were three existing structures which are proposed to be removed or by this reading, have already been removed. An existing grassed drainage swale behind the proposed RV parking pads and paralleling the west property line will receive some regrading to assure preservation of the existing drainage patterns on the site. All disturbed areas will be revegetated. The new RV parking pads and associated vehicle parking areas will be gravel surfaced. Guest use areas adjacent to the RV pads will be grassed.

Section 6. Environmental Impacts. At the time of the original approval there were no identified wildlife impacts. The proposed site plan modifications and reduced vehicular and guest activity are not anticipated to have any detrimental impacts on wildlife in the area. The weed management program identified by the Beattie Wildlife Consultants, Inc. report associated with the original Rock Gardens approval has been effectively implemented and maintained over the years.

## GLENWOOD CANYON RESORT CIVIL ENGINEERING SUMMARY LETTER

### **ESTIMATED TRAFFIC GENERATION**

Glenwood Canyon Resort access is located on the south side of the Interstate 70 interchange at the No Name Exit. Below are the calculations showing the estimated original average daily traffic volumes generated from the original Rock Gardens P.U.D. approvals during peak months:

ORIGINAL APPROVAL CONDITIONS			
Type of Land Use	# Units	Average Vehicle Trip Ends per Unit/Day*	Total Vehicle Trip Ends per Day
Residential, Single-Family	2	10.09	20
Recreational Home (for RV's and Campsites)	128	3.07	393
Rafting (treat as Golf Course per employee)	20	25.28	506
Total =			<b>919</b>
*Based on values outlined in ITE Trip Generation Manual, 6th Edition on a Saturday or Weekend. Please note the site is used on a seasonal basis.			

**Based on the Capital Improvements Plan as adopted by the Board of County Commissioners the Rock Gardens P.U.D. is not located in an impact fee related area.**

The numbers above were used in the original CDOT access permit. There have not been any updates to this existing access permit since the original application.

HCE has spoken with the CDOT Region 3 access department. They will approve the proposed changes to the RV and park model without the need for an additional access permit submission as long as the net peak traffic is less than the original access traffic volumes.

Below are the initial calculations to determine the average daily traffic volumes that can be expected to be generated at full occupancy of the Glenwood Canyon Resort following the proposed net changes to the property. The following is a breakdown of uses:

PROPOSED CONDITIONS			
Type of Land Use	# Units	Average Vehicle Trip Ends per Unit/Day*	Total Vehicle Trip Ends per Day
Residential, Single-Family	2	10.09	20.2
Recreational Home (for RV's and Campsites)	122	3.07	374.5
Restaurant Traffic	20 Seats	2.86	57.2
Total =			<b>452</b>
*Based on values outlined in ITE Trip Generation Manual, 6th Edition on a Saturday or Weekend. Please note the site is used does have a seasonal peak period.			

The initial calculated reduction in traffic volumes using the methodology used in the original access permit puts the new daily vehicle trips at 49%. CDOT has asked that we convert these numbers to the new CDOT standard of peak hour traffic but the numbers percentage reduction will be similar to the old methodology.

CDOT is reviewing these numbers converted to the preferred peak hour version to determine if a letter can be provided in lieu of an additional access permit since the traffic generation changes from the original permit are of similar character and reduced peak hour volumes.

## **SITE UTILITIES**

### **Domestic Water System**

The proposed change in unit totals from the original approvals is a reduction of 6. The 20 seat restaurant was added later as part of the Phase 2 approvals. The existing 2 wells and storage tanks are sufficient for the proposed site layout changes.

The water supply source for this project will be two existing wells on the north end of the property. Two 10,000-gallon water tanks were constructed near the wells on the north end of the site supplemented the original 10,000-gallon tank bringing the total storage up to 30,000-gallons. The storage provided was adequate to the community center, storage building and additions to the office and residential which are sprinklered according to letter from the Glenwood Springs Fire Department, dated August 5, 2003.

The proposed 11 units will require new individual ¾" water services along the a new 4" diameter dead end water line that runs the west (rear) area of the 11 units. This will require the contractor to install an 8"x4" full body tee on the existing 8" water main. See the master utility plan for location and horizontal separation from the proposed sewer line and services. The depth of the new water lines will be 6' minimum.

### **Sanitary Sewer System**

Zancanella and Associates is working on an update to the existing sewage treatment plant report. This report update is still in process but the initial information is that the treatment plant has the capacity for the proposed changes to the site usage. A letter is in section K that details this analysis.

There are two proposed 6-inch sewer mains that serve the existing project. Minimum grades were utilized on the east/west sewer main in order to accommodate the required elevation of the proposed wastewater treatment plant designed by Zancanella and Associates. Velocities of 2.0ft/sec were used as a minimum in the design of the sewer mains to meet minimum cleansing velocities. Wastewater discharge was determined at the time assuming 300 gallons per EQR which is approximately 85% of the total water usage.

The proposed new 11 units will require that new service wyes will be installed off of a new 6" diameter collector line that will be connected to the existing gravity system at an existing manhole that will have to be reconfigured. See the master utility plan for location, depth, and horizontal separation from the proposed and existing domestic water lines. This proposed run of 6" sewer main will have a minimum slope of 3% and will require 2 new manholes.

### **Electric, Gas, and Telephone/Cable**

The new 11 sites will not have gas, telephone, or cable access.

There will be an electric pedestal on the back of each unit. The new layout will require the removal of an existing power pole and meter used for the previous rafting operation structures. A new electric line will extend from an existing transformer on the east side of the paved road to a centrally located new transformer between units 4 and 5. All 11 units will be serviced from this single 800 amp transformer.

## **DRAINAGE IMPROVEMENTS**

The original drainage study for the Rock Gardens property called for the collection of runoff in the streets into 2 storm inlets. Previous to the 2003 Rock Gardens improvement project, runoff was conveyed to the river untreated and un-detained as sheet flow and shallow channel flow. The lower bench, containing the campsites is located within the 100-yr floodplain and also sheet flow to the Colorado River. The 2003 original drainage report and subsequent Phase 2 submittal proposed on-site runoff to sheet flow to the roadway which will act like a drainage channel due to an inverted crown section. The runoff was to be conveyed within the roadway to 2 separate sump inlets at the low points in the road and be discharged to the river in a storm drain. Before discharging to the Colorado River, runoff was to be treated by oil skimmers in a snout design to limit debris and oils from discharging to the river. No on-site detention was proposed since the site is currently discharging directly to the Colorado River and water quality was the only concern for the County review. Upon inspecting the existing site, it appears that only the west storm inlet box was installed and the Phase 2 collection location was not installed.

The lower portion of the loop was also intended to be asphalt paving and provide a continuous 22' mat for 2-way traffic. The site grading for this project will complete the lower road to match the approvals. Gravel parking

areas will also be improved along this section of road that will be used by some of the park model units and also for general overflow and restaurant parking. The area of increased asphalt/gravel is minor as most of this parking was already in place although not as formalized as in the proposed layout.

The proposed improvements for this site layout revision shall include the installation of an east storm manhole with the “snout” water quality feature within the structure that was never installed during Phase 2. This storm sewer manhole should collect runoff from the asphalt paved areas per the original drainage study concept. The grading of the expanded driveways in this area will be done to maximize flow to this water quality manhole grate and minimize the runoff that bypasses the water quality treatment structures.

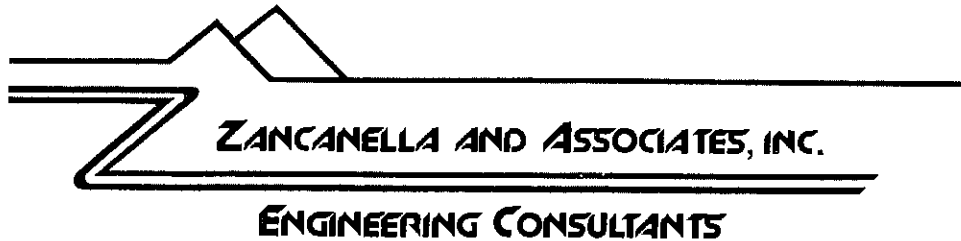
The drainage swale along the west property line will also require improvements to keep the runoff from the north end of the property that is not captured in the storm inlet from flowing to the adjoining properties to the west. This grass lined swale will provide some water quality prior to flowing down the bank to the Colorado River.

Temporary BMP's used during construction shall include silt fencing, drainage swale erosion logs, and inlet protection which will be installed and maintained by the contractor until permanent vegetation has been established. The requirements of the contractor during construction are generally outlined on the grading plan and included in the final construction documents. BMP's should be inspected daily for serviceability and have sediment removed following storm events as needed. Additionally, construction vehicles should only be cleaned in designated areas so that contaminants are not conveyed to the Colorado River. A construction activities stormwater discharge permit from the State of Colorado will be required with the selected contractor and maintained onsite during the duration of construction activities due to the disturbance area exceeding 1 acre in size.

Permanent BMP's include oil skimmers and routine maintenance of drainage structures. Maintenance procedures should include the inspection of drainage structures in the spring for sediment deposited within during the winter. The drainage facilities should also be inspected for sediment deposition after major storm events. The maintenance of the treatment and drainage facilities will be the responsibility of the owner of the Glenwood Canyon Resort.



P.O. Box 1908  
1005 Cooper Ave.  
Glenwood Springs,  
CO 81602



(970) 945-5700  
(970) 945-1253 Fax

October 27, 2003

Mr. Mark Bean  
Garfield County Planning Department  
108 Eighth Street, Suite 201  
Glenwood Springs, CO 81601

**RE: Rock Gardens Mobile Home Park and Campground**

Dear Mark:

This report presents the findings of the water supply investigations performed by Zancanella and Associates, Inc. for the proposed improvements to the Rock Gardens Mobile Home Park and Campground. Figure 1 shows the general location of the property and the approximate locations of Rock Gardens Wells #1 and #2. Information contained in this report covers estimated future domestic water uses for the PUD, the legal supply, well pump test report and water quality.

**Water Requirements**

Table 1, attached, presents the diversions and consumptive use for the proposed PUD. This arrangement will require 66.3 domestic EQRs and 10 commercial EQRs, for a total of 73.3 EQRs. It is assumed that each EQR will represent 3.5 people using 100 gallons of water per person per day. The water use calculation also presumes that water will be diverted to irrigate up to 2 acres of open space or other equivalent outside uses. The domestic, commercial and irrigation water is to be supplied by the community water system.

**Legal Supply**

Rock Gardens Well #1 was drilled under Permit # 29000-F and a Plan for Augmentation in Water Court Case 83CW379 (Attached). A Statement of Beneficial Use was filed for this well in 1996.

Rock Gardens Well #2 was approved as an additional point of diversion under the augmentation plan (83CW379) and was drilled under Permit # 055899-F. A Statement of Beneficial Use (attached) was filed for this well in 2002. Copies of the well permits and Statements of Beneficial use are attached. An additional augmentation plan (Case # 02CW049, copy attached) to cover the existing and future development at Rock Gardens has been filed, but is still pending.

### **Physical Supply**

The system will be supplied by two wells, Rock Gardens Wells #1 and #2. Well #1 has been supplying the park for several years. The improvements to the water system include the addition of Well #2, two 10,000 gallons storage tanks and a pump house with water treatment equipment and related plumbing. Ron Biggers with the Glenwood Springs Fire Department has reviewed the plan and has made recommendations in his attached letter.

Rock Gardens Well #2 was completed at a depth of 200 feet on July 23, 2001 by Shelton Drilling Corporation. The well is located in the northwest quarter of the southeast quarter, approximately 1970 feet from the south section line and 2250 feet from the east section line of Section 2, Township 6 South, Range 89 West of the 6<sup>th</sup> P. M. The well penetrated 90 feet of alluvial and colluvial material before entering the Leadville Limestone. A copy of the well construction report for Well #2 is attached. We have also attached a graphical representation of the construction in Figure 2.

A pump test of the Rock Gardens Well #2 was conducted on July 31 and August 1, 2001 by Samuelson Pump Company utilizing the electric submersible pump that was temporarily installed in the well for this test. The pump test was conducted at an initial rate of 20 gallons per minute (gpm). The rate was increased at 20 minutes into the test to a rate of 30 gpm. The rate was increased twice more during the test to 40 gpm at 40 minutes and then to 50 gpm at 70 minutes into the test. The rate was then held steady at 50 gpm throughout the remainder of the test. The well was pumped continuously for nearly a 24 hour period at the 50 gpm rate. The drawdown and time data collected during the test are presented in Table 2. We have plotted the results of the test in a water level versus time curve in Figure 3. The maximum drawdown following the 24-hour test was approximately 20.83 feet. The water level appeared to have stabilized (remained at a fixed level) at the end of the test.

Recovery data for the well following the pump test were collected for a 60 minute period after the pumping stopped. The recovery data are listed, along with the pumping data, in Table 2. The recovery data, plotted as residual drawdown, are shown in Figure 4. Based on the residual drawdown curve, the well displayed normal recovery characteristics.

The test indicates that Well #2 will probably be able to operate for extended periods at the rate of 50 gpm. This rate of flow, especially when combined with the estimated 15 gpm flow from Well #1, is well above the peak month's continuous average diversion of 28.0 gpm shown in the Estimated Water Requirements Table, Table 1. From the pump test data it can be concluded that, with sufficient storage, Rock Gardens Wells #1 and #2 should be able to provide adequate water for the proposed development.

### **Water Quality**

Water samples were collected from Well #2 (referred to at the time of sampling as Well #1A) during the pump test and sent to Evergreen Analytical Laboratories, Inc. in Wheat Ridge, Colorado for independent analyses. The lab tests included analyses for Inorganic Chemicals (IOCs), Volatile Organic Chemicals (VOCs), Synthetic Organic Chemicals (SOCs), nitrates/nitrites, radiological properties (gross alpha and beta), coliform bacteria

and corrosivity. The lab results, on Colorado Department of Public Health and Environment (CDPHE) forms, are attached. Results received to date show that all potential contaminants for which tests were run were below the Maximum Contaminant Levels (MCL) as established by the CDPHE. Samples collected for coliform bacteria analyses indicated that coliform bacteria were absent.

If you have any questions, please call our office at (970) 945-5700.

Very truly yours,

**Zancanella and Associates, Inc.**

  
Thomas A. Zancanella, P.E.

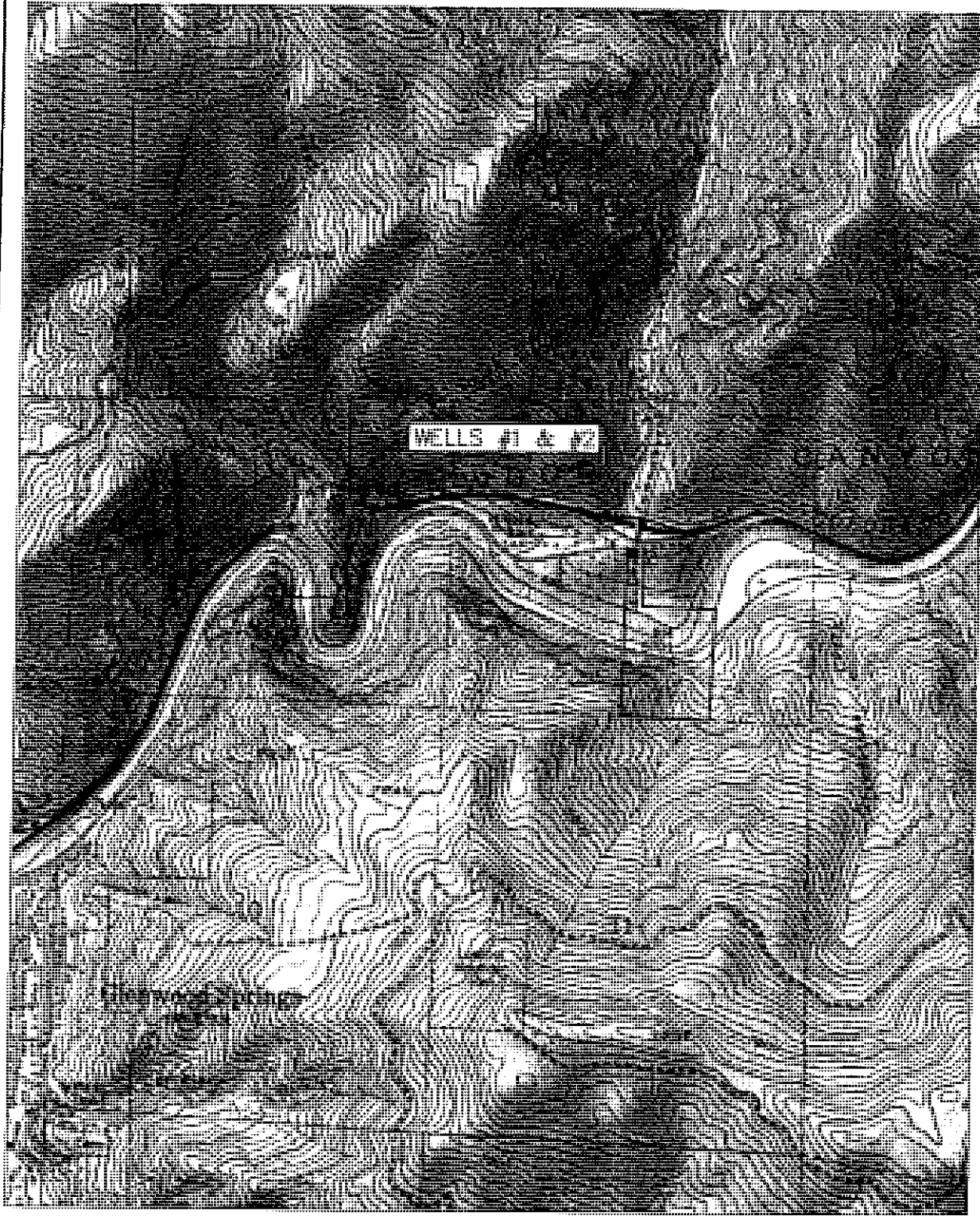
  
Bradley C. Peek, Geologist

Attachments

cc: Kevin Schneider

Z:\20000\20739 Rock Gardens\water system\Bean-WaterSupplyRept.doc

R89W



T6S



# PROJECT LOCATION MAP

# ROCK GARDENS

FIGURE NO.

1

SCALE: 1" = 2000'	DATE: SEPT. 30, 2003	SHEET: 1 OF 1
DRAWN BY: BCP	CHKD BY: BCP	APPD BY: TAZ
DRAWING: LocTopo2.dwg		



**ZANCANELLA AND ASSOCIATES, INC.**  
**ENGINEERING CONSULTANTS**  
 POST OFFICE BOX 1006 - 1005 COOPER AVENUE  
 GLENWOOD SPRINGS, COLORADO 81602 (970) 945-5700

PROJECT: 20739

**Table 1**  
**Rock Gardens (proposed conditions)**  
**Estimated Water Requirements - Rock Gardens**

Water Use Inputs			
Domestic Demands		Commercial Demands	
# of EQRs	66.3 EQRs	# of Commercial EQR	10.0
# persons/EQR	3.5 cap/unit	# persons/EQR	3.5
# gallons/person/day	100 gpcd	# gallons/person/day	100 gpcd
Percent Consumed	5%	Percent Consumed	5%
Lawn Irrigation	0 sq-ft/unit	Lawn Irrigation	0 sq-ft/unit
Application Efficiency	80%	Application Efficiency	80%
Crop Irrig reqmnt (CIR)	2.07 ft	Crop Irrig reqmnt (CIR)	2.07 ft
		Irrigated Open Space	2.00 acres
		Application Efficiency	80%
		Crop Irrig reqmnt (CIR)	2.07 ft

**Water Use Calculations**

Month	Diversion Requirements			Consumptive Use								
	(1) Domestic In-house (ac-ft)	(2) Commercial In-house (ac-ft)	(3) Open Space Irrigation (ac-ft)	(4) Total (ac-ft)	(5) Average Flow (gpm)	(6) Domestic In-house (ac-ft)	(7) Commercial In-house (ac-ft)	(8) Open Space Irrigation (ac-ft)	(9) Total (ac-ft)	(10) Plus 5% loss	(11) Depletion Factors (%)	Total Lagged Depletions (ac-ft)
Jan	2.206	0.33	0.00	2.54	18.5	0.110	0.02	0.00	0.13	0.13	8.60%	0.51
Feb.	1.992	0.30	0.00	2.29	18.5	0.100	0.02	0.00	0.11	0.12	8.60%	0.51
Mar	2.206	0.33	0.00	2.54	18.5	0.110	0.02	0.00	0.13	0.13	8.50%	0.50
APR	2.134	0.32	0.00	2.46	18.5	0.107	0.02	0.00	0.12	0.13	8.30%	0.49
May	2.206	0.33	1.00	3.54	25.8	0.110	0.02	0.80	0.93	0.97	8.20%	0.49
Jun	2.134	0.32	1.25	3.71	28.0	0.107	0.02	1.00	1.12	1.18	8.00%	0.47
Jul.	2.206	0.33	1.18	3.71	27.1	0.110	0.02	0.94	1.07	1.12	7.90%	0.47
Aug.	2.206	0.33	0.88	3.41	24.9	0.110	0.02	0.70	0.83	0.87	8.00%	0.47
Sep	2.134	0.32	0.68	3.13	23.6	0.107	0.02	0.54	0.66	0.70	8.20%	0.49
Oct	2.206	0.33	0.20	2.74	20.0	0.110	0.02	0.16	0.29	0.30	8.40%	0.50
Nov.	2.134	0.32	0.00	2.46	18.5	0.107	0.02	0.00	0.12	0.13	8.60%	0.51
DEC	2.206	0.33	0.00	2.54	18.5	0.110	0.02	0.00	0.13	0.13	8.80%	0.52
Annual	25.969	3.92	5.18	35.06	21.71	1.30	0.20	4.14	5.63	5.92	1.00	5.92

Depletion Factors based on SEO Glover Calculation ( T= 50000 gpd/ft, S 0.02, D= 750 ft to wells and 1400 ft to boundary  
Only Wells 1 & 2 are lagged. Well 3 is within 100 feet of the stream and thus requires no lagging.

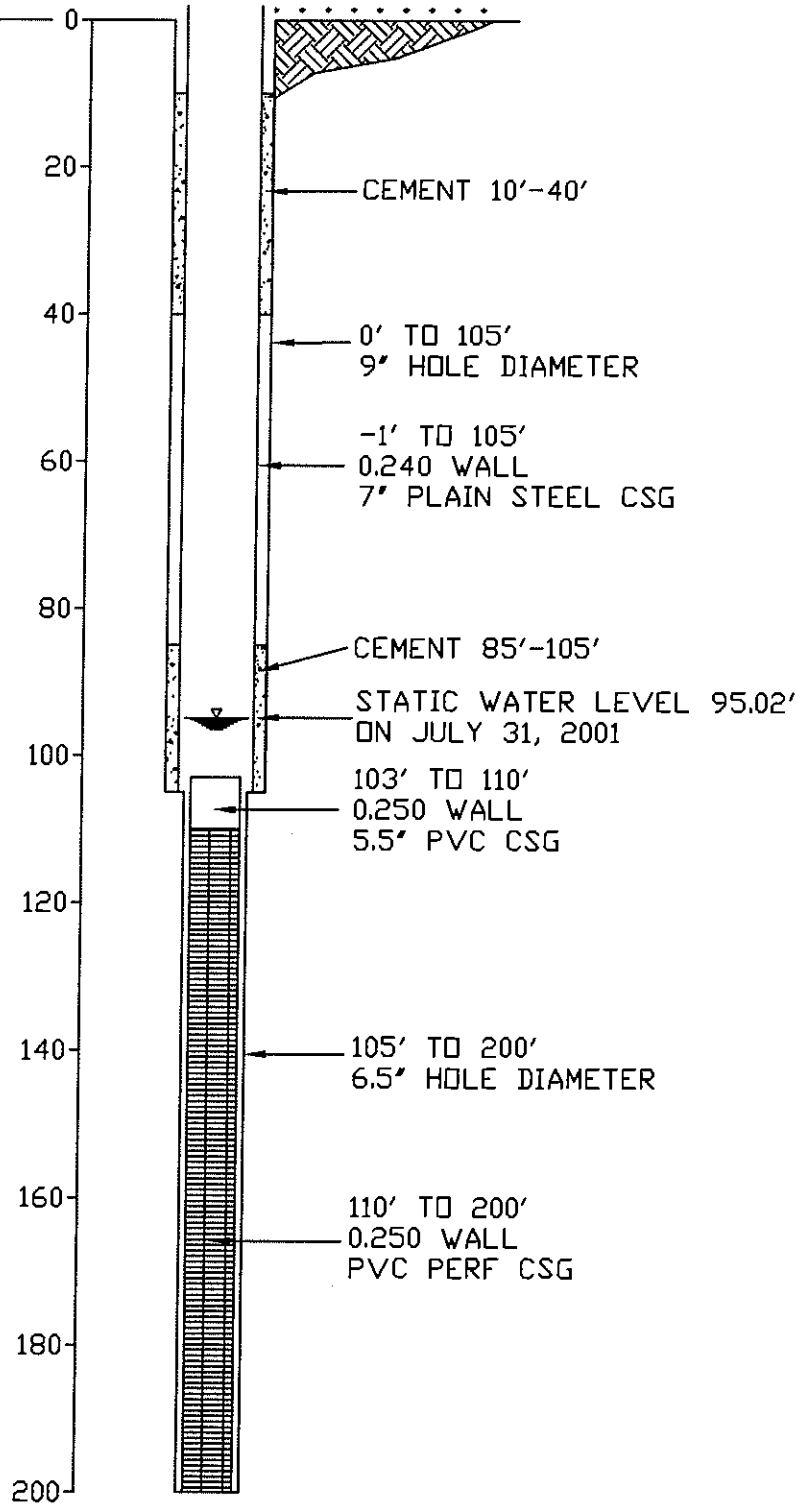
Accounting to be provided each year to SEO

GROUND  
LEVEL

Dirt, Rock,  
Boulders

Mississippian  
Leadville  
Limestone

TOTAL DEPTH  
200'



# WELL #2 WELL DETAIL

ROCK GARDENS

FIGURE NO.

2

SCALE: NOT TO SCALE	DATE: SEPT. 30, 2003	SHEET 1 OF 1
DRAWN BY: BCP	CHKD BY: BCP	APPD BY: TAZ
PLAN NO. WellDetail-2.dwg		

**ZANCANELLA AND ASSOCIATES, INC.**  
ENGINEERING CONSULTANTS  
POST OFFICE BOX 1908 - 1005 COOPER AVENUE  
GLENWOOD SPRINGS, COLORADO 81602 (970) 945-5700

PROJECT: 20739

# WELL CONSTRUCTION AND TEST REPORT

STATE OF COLORADO, OFFICE OF THE STATE ENGINEER

FOR OFFICE USE ONLY

1. WELL PERMIT NUMBER 055899-F

2. Owner Name(s): Kevin Schneider  
Mailing Address: 1308 County Road 129  
City, State, Zip : Glenwood Springs, Co. 81601  
Phone # : 970-945-6737

APPROVAL # GWS31-91-03

3. WELL LOCATION AS DRILLED  
DISTANCES FROM SEC. LINES NW 1/4 SE 1/4 Sec: 2 Twp: 6 S Range: 89 W  
1970 ft. from South Sec. line and 2250 ft. from East Sec. line OR Northing: Easting:  
SUBDIVISION: LOT: BLOCK: FILING (UNIT):

STREET ADDRESS AT LOCATION

4. GROUND SURFACE ELEVATION ft. DRILLING METHOD Air Rotary  
DATE COMPLETED: 7/23/2001 TOTAL DEPTH: 200 DEPTH COMPLETION: 200

## 5. GEOLOGIC LOG

6. HOLE DIAMETER (in)

FROM (ft)

TO (ft)

Depth	Type of Material (Size, Color, and Type)
000-090	Dirt, Rocks, Boulders
090-200	Leadville Limestone

9.0	0	105
6.5	105	200

## 7. PLAIN CASING

OD (in)

Kind

Wall Size

From (ft)

To (ft)

7	Steel	0.240	0	105
5.5	PVC	0.250	103	110

## PERF. CASING : Screen Slot Size

5.5	PVC	0.250	110	200
-----	-----	-------	-----	-----

Water Located: 105 -

Remarks :

## 8. Filter Pack

Material :

Size :

Interval :

## 9. Packer Placement

Type :

Depth :

## 10. GROUTING RECORD

Material

Amount

Density

Interval

Placement

Cement	5 sks	6 gal/sk	10-40	poured
Cement	4 sks	6 gal/sk	85-105	pumped

11. DISINFECTION : Type : HTH

Amt. Used : 3 oz.

12. WELL TEST DATA : ( ) Check Box If Test Data is Submitted On Supplemental

TESTING METHOD : Air Compressor

Static Level : 94 ft.

Date/Time Measured 7/23/2001

Production Rate 50 gpm

Pumping Level : Total ft.

Date/Time Measured 7/23/2001

Test Length : 2 hours

Test Remarks :

13. I have read the statements made herein and know the contents thereof, and that they are true to my knowledge. (Pursuant to Section 24-4-1-4 (13)(a) CRS, the making of false statements constitutes perjury in the second degree and is punishable as a class 1 misdemeanor.)

CONTRACTOR : Shelton Drilling Corp.

Mailing Address : P.O. Box 1059 Basalt, Co. 81621

Phone : (970) 927-4182

Lic. No. 1095

Name / Title (Please Type or Print)

Signature

Date

Wayne Shelton / President

8/2/2001

FILE COPY

Table 2  
**Pump Test Data**  
 Rock Gardens Well # 2

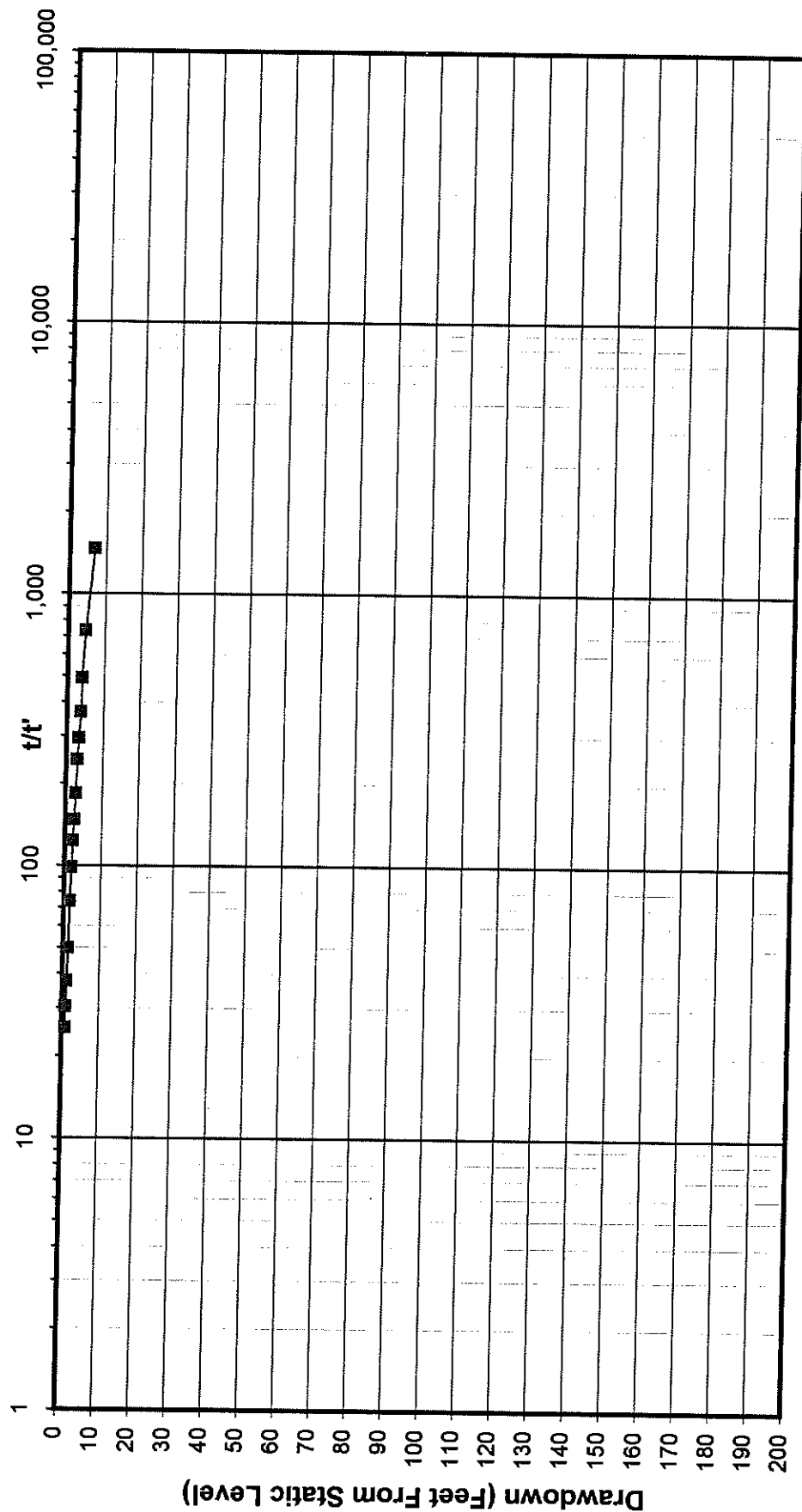
Well ID: \_\_\_\_\_  
 Job No.: 20739  
 Client: Rock Gardens  
 Test By: Samuelson  
 Analysis By: BCP  
 M.P. = \_\_\_\_\_

Q = 50 gpm  
 r = \_\_\_\_\_ ft  
 S.W.L. = 95.02 ft  
 b = \_\_\_\_\_ ft  
 Time/Date on: 7/31/01 11:00 AM  
 Time/Date off: 8/1/01 11:00 AM projected  
 Test Length: 24:00:00 total time

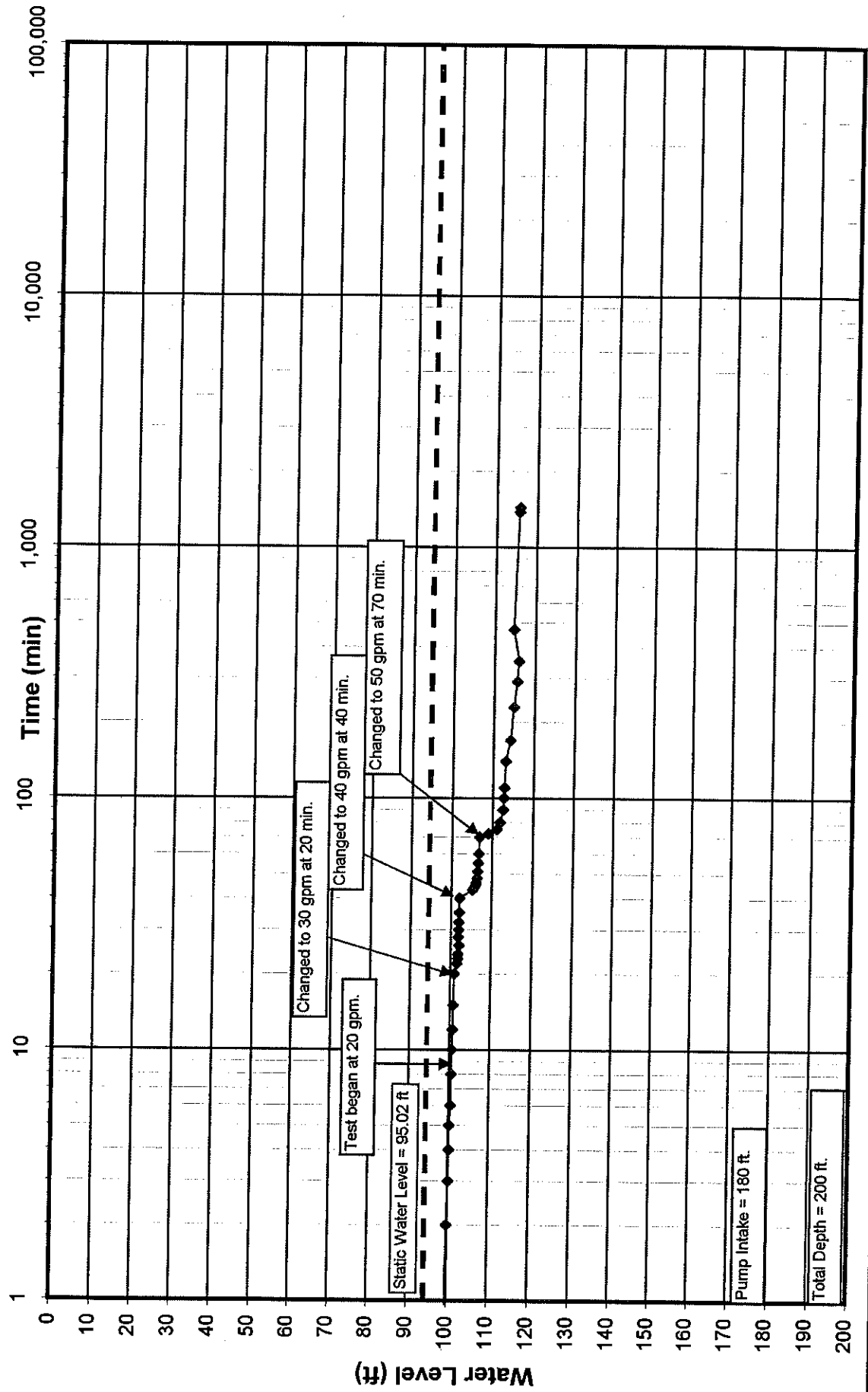
REAL TIME	Time (minutes)	W.L. Measurement		Drawdown (feet)	Q (gpm)	t' (minutes)	t/t'
		(feet)	(inches)				
7/31/01 11:00 AM	0	95	0.25	SWL	20		
7/31/01 11:02 AM	2	99	9.75	4.79	20		
7/31/01 11:03 AM	3	100	0	4.98	20		
7/31/01 11:04 AM	4	100	1	5.06	20		
7/31/01 11:05 AM	5	100	1	5.06	20		
7/31/01 11:06 AM	6	100	3.75	5.29	20		
7/31/01 11:08 AM	8	100	5.75	5.46	20		
7/31/01 11:10 AM	10	100	6.5	5.52	20		
7/31/01 11:12 AM	12	100	7	5.56	20		
7/31/01 11:15 AM	15	100	8.5	5.69	20		
7/31/01 11:20 AM	20	100	10	5.81	30		
7/31/01 11:22 AM	22	101	5.5	6.44	30		
7/31/01 11:23 AM	23	101	8	6.65	30		
7/31/01 11:24 AM	24	101	9	6.73	30		
7/31/01 11:26 AM	26	101	11	6.90	30		
7/31/01 11:28 AM	28	101	9	6.73	30		
7/31/01 11:30 AM	30	101	9.75	6.79	30		
7/31/01 11:32 AM	32	101	10.25	6.83	30		
7/31/01 11:35 AM	35	101	11.25	6.92	30		
7/31/01 11:40 AM	40	101	11.5	6.94	40		
7/31/01 11:43 AM	43	105	1.75	10.13	40		
7/31/01 11:44 AM	44	105	5.25	10.42	40		
7/31/01 11:45 AM	45	105	10.5	10.85	40		
7/31/01 11:46 AM	46	106	0.25	11.00	40		
7/31/01 11:48 AM	48	106	3	11.23	40		
7/31/01 11:51 AM	51	106	4.25	11.33	40		
7/31/01 11:55 AM	55	106	6	11.48	40		
7/31/01 12:00 PM	60	106	7.75	11.63	40		
7/31/01 12:10 PM	70	106	8.25	11.67	50		
7/31/01 12:12 PM	72	108	10.5	13.85	50		
7/31/01 12:15 PM	75	110	11.5	15.94	50		
7/31/01 12:20 PM	80	111	9.25	16.75	50		
7/31/01 12:30 PM	90	112	5.5	17.44	50		
7/31/01 12:40 PM	100	112	6.75	17.54	50		
7/31/01 12:50 PM	110	112	8.75	17.71	50		
7/31/01 1:20 PM	140	112	11	17.90	50		
7/31/01 1:50 PM	170	114	0.75	19.04	50		
7/31/01 2:50 PM	230	114	8.75	19.71	50		
7/31/01 3:50 PM	290	115	6.75	20.54	50		
7/31/01 4:50 PM	350	115	10.25	20.83	50		
7/31/01 6:50 PM	470	114	6.25	19.50	50		
8/1/01 10:00 AM	1380	115	5.75	20.46	50		
8/1/01 11:00 AM	1440	115	8.25	20.67	50		
8/1/01 11:30 AM	1470	115	8.25	20.67	50		
8/1/01 11:31 AM	1471	101	11	6.90	Stopped Pumping	1	1471
8/1/01 11:32 AM	1472	99	9.25	4.75	0	2	736
8/1/01 11:33 AM	1473	99	0	3.98	0	3	491
8/1/01 11:34 AM	1474	98	9	3.73	0	4	369
8/1/01 11:35 AM	1475	98	4.5	3.35	0	5	295
8/1/01 11:36 AM	1476	98	1.25	3.08	0	6	246
8/1/01 11:38 AM	1478	97	8.25	2.67	0	8	185
8/1/01 11:40 AM	1480	97	5.25	2.42	0	10	148
8/1/01 11:42 AM	1482	97	2	2.15	0	12	124
8/1/01 11:45 AM	1485	96	11.25	1.92	0	15	99
8/1/01 11:50 AM	1490	96	8	1.65	0	20	75
8/1/01 12:00 PM	1500	96	4.25	1.33	0	30	50
8/1/01 12:10 PM	1510	96	1.25	1.08	0	40	38
8/1/01 12:20 PM	1520	95	11.75	0.96	0	50	30
8/1/01 12:30 PM	1530	95	10.5	0.85	0	60	26



Figure 4  
 Recovery Following Pumping Test - 07/31/01 to 08/01/01  
 Rock Gardens Well # 2  
 Recovery as Residual Drawdown



**Figure 3**  
**24-Hour Pumping Test - 07/31/01 to 08/01/01**  
**Rock Gardens Well # 2**



GWS-1.0  
03/92

OFFICE OF THE STATE ENGINEER  
818 Centennial Bldg., 1313 St., Denver, Colorado 80203  
(303) 866-3581

For Office Use only  
VED  
12/6/85

RECEIVED APR 22 1996

FOR INSTRUCTIONS, SEE REVERSE SIDE

STATEMENT OF BENEFICIAL USE

WELL PERMIT NUMBER -27713-F 29000-F

1. WELL OWNER

Kevin and Kimberly Schneider  
NAME(S) c/o Leavenworth & Caloia, P.C.  
Mailing Address P. O. Drawer 2030  
City, St Zip Glenwood Springs, CO 81602  
Phone (303) 945-2261

2. WELL LOCATION: COUNTY Garfield

OWNER'S WELL DESIGNATION Rock Gardens Well No

(Address)

(City)

(State)

(Zip)

SW 1/4 of the SE 1/4, Sec. 2 Twp. 6 N. or S., Range 89 E. or W. 6th P.M.

Distances from Section Lines 1071 Ft. from N. or S. Line, 1810 Ft. from E. or W. Line.

3. The well is being used for the following purpose(s): Water supply for Rock Gardens, an existing mobile home park & camping park. (Domestic, irrigation, commercial ~~industrial~~ purposes)  
used in accordance or plan for augmentation decreed in Case No. 83CW379.

4. Water from the well was first used beneficially September 21  
under this permit number, for the above described purposes on ~~October 21~~ 1984. 1985  
(Do not report a date which is before the issued date of this permit)

5. The pumping rate claimed is 28.3 gallons per minute.

6. The average annual amount of water diverted is 10 acre feet.

7. The land area irrigated (watered) by water from this well is: one Acres or Square feet,  
(Number)

described as: Up to one acre lying within the property set forth on Exhibit A

(Legal Description)

or as Subdivision Lot(s) Block Filing/Unit

8. Well drilled by: Lic. No:  
Pump installed by: Lic. No:

9. Meter Mfg. by Serial No.: Date Installed:

I (we) have read the statements made herein, know the contents thereof, and state that they are true to my (our) knowledge. [Pursuant to Section 24-4-104 (13)(a) C.R.S., the making of false statements herein constitutes perjury in the second degree and is punishable as a Class 1 misdemeanor.]

10. Name/Title (Please type or print) Signature Date  
Kevin and Kimberly Schneider March 28, 1995

FOR OFFICE USE ONLY

DIVISION FIELD INSPECTION COPY

State Engineer  
Court Case No.

Div. 5 Co. 23 WD 52 Basin MD

Date  
Use 1238

RECEIVED

FEB 21 1985

## PERMIT APPLICATION FORM

Application must be complete where applicable. Type or print in BLACK INK. No overstrikes or erasures unless initialed.

DIVISION COPY

PERMIT TO USE GROUND WATER  
A PERMIT TO CONSTRUCT A WELL  
FOR: (X) A PERMIT TO INSTALL A PUMP

SEP 1985

( ) REPLACEMENT FOR NO. \_\_\_\_\_

( ) OTHER \_\_\_\_\_

WATER COURT CASE NO. 81CW430 84CW380

WATER SUPPLY  
STATE ENGINEER  
G.D.B.(1) APPLICANT - mailing address

NAME William C. & Melanie J. Livingston  
c/o Leavenworth, Patrick & Lochhead,  
STREET P. O. Drawer 2030  
CITY Glenwood Springs, CO 81602  
(State) (Zip)  
TELEPHONE NO. (303) 945-2261

(2) LOCATION OF PROPOSED WELL

County Garfield  
SW  $\frac{1}{4}$  of the SE  $\frac{1}{4}$ , Section 2  
Twp. 6 S, Rng. 89 W, 6th P.M.  
(N.S) (E.W)

(3) WATER USE AND WELL DATA

Proposed maximum pumping rate (gpm) 50  
Average annual amount of ground water  
to be appropriated (acre-feet): 10  
Number of acres to be irrigated: 1 acre  
Proposed total depth (feet): 150  
Aquifer ground water is to be obtained from:  
Colorado River alluvium

Owner's well designation- ROCK GARDENS WELL NO. 1GROUND WATER TO BE USED FOR:

( ) HOUSEHOLD USE ONLY - no irrigation (0)  
(X) DOMESTIC (1) ( ) INDUSTRIAL (5)  
( ) LIVESTOCK (2) (X) IRRIGATION (6)  
(X) COMMERCIAL (4) (X) MUNICIPAL (8)  
( ) OTHER (9) \_\_\_\_\_

DETAIL THE USE ON BACK IN (11)

(4) DRILLER

Name Licensed Driller  
Street \_\_\_\_\_  
City \_\_\_\_\_  
(State) (Zip)  
Telephone No. \_\_\_\_\_ Lic. No. \_\_\_\_\_

FOR OFFICE USE ONLY: DO NOT WRITE IN THIS COLUMN

Receipt No. 53099

Basin \_\_\_\_\_

Dist. \_\_\_\_\_

CONDITIONS OF APPROVAL

This well shall be used in such a way as to cause no material injury to existing water rights. The issuance of the permit does not assure the applicant that no injury will occur to another vested water right or preclude another owner of a vested water right from seeking relief in a civil court action.

- 1) APPROVED PURSUANT TO CRS 37-90-137 FOR THE CONSTRUCTION OF THE PROPOSED WELL (ROCK GARDENS WELL NO. 1) TO APPROPRIATE TRIBUTARY GROUND WATER FROM THE ALLUVIUM OF THE COLORADO RIVER NORTHEAST OF GLENWOOD SPRINGS COLORADO. THE PROPOSED WELL IS THE SUBJECT OF AN APPLICATION NOW PENDING A WATER RIGHT DETERMINATION IN THE DIV. 5 WATER COURT, CASE NO. 83CW380.
- 2) OPERATION OF THIS WELL SHALL BE IN ACCORDANCE WITH THE PLAN FOR AUGMENTATION APPROVED BY THE DIV. 5 WATER COURT, CASE NO. 83CW379.
- 3) GROUND WATER PRODUCTION SHALL BE LIMITED TO A MAXIMUM OF 50 GPM TO PROVIDE A WATER SUPPLY FOR ROCK GARDENS, AN EXISTING MOBIL HOME PARK AND CAMPING PARK. THE DEVELOPMENT IS COMPOSED OF 36 MOBIL HOME SITES, FIVE CABINS, NINETY SUMMER CAMP SITES, AND TWO SINGLE FAMILY RESIDENCES.

- CONTINUED, ATTACHED SHEET -

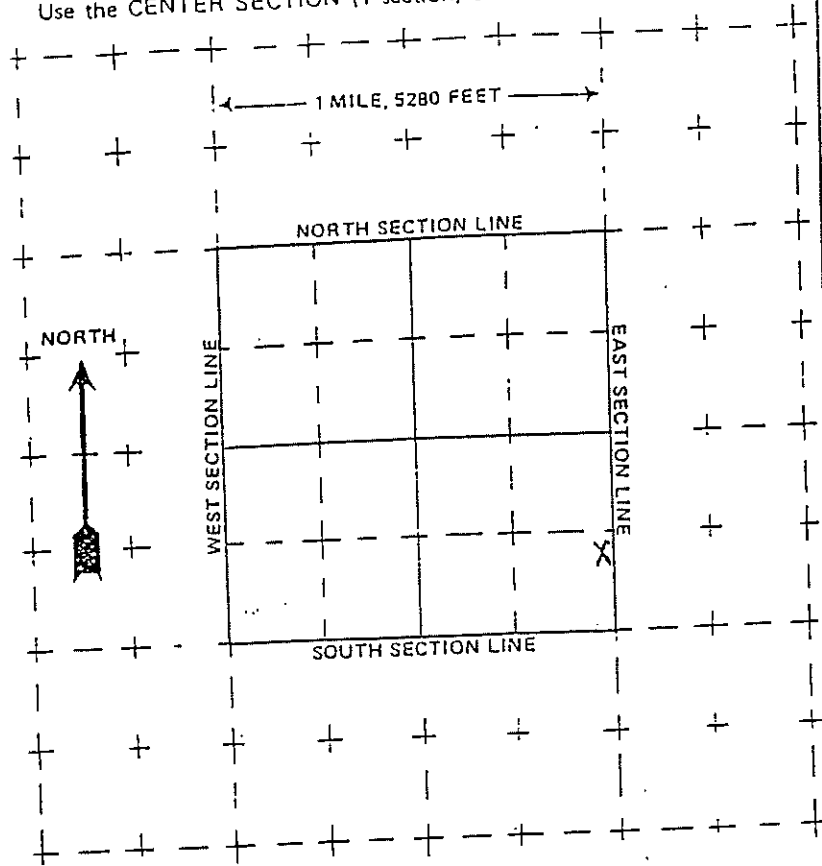
APPLICATION APPROVEDPERMIT NUMBER 23000-FDATE ISSUED SEP 20 1985EXPIRATION DATE SEP 20 1986

(STATE ENGINEER)

BY Robert C. Longmarch

5-39

(5) THE LOCATION OF THE PROPOSED WELL and the area on which the water will be used must be indicated on the diagram below. Use the CENTER SECTION (1 section, 640 acres) for the well location.



The scale of the diagram is 2 inches = 1 mile  
Each small square represents 40 acres.

**WATER EQUIVALENTS TABLE (Rounded Figures)**

An acre-foot covers 1 acre of land 1 foot deep  
1 cubic foot per second (cfs) ... 449 gallons per minute (gpm)  
A family of 5 will require approximately 1 acre-foot of water per year.  
1 acre-foot ... 43,560 cubic feet ... 325,900 gallons.  
1,000 gpm pumped continuously for one day produces 4.42 acre-feet.

(6) THE WELL MUST BE LOCATED BELOW by distances from section lines.

1,200 ft. from South sec. line  
(north or south)  
200 ft. from East sec. line  
(east or west)

LOT N/A BLOCK N/A FILING # N/A  
SUBDIVISION N/A

(7) TRACT ON WHICH WELL WILL BE LOCATED Owner: Shell Minerals Corp.

No. of acres 4,725 Will this be the only well on this tract? No other monitor wells could be installed

(8) PROPOSED CASING PROGRAM

Plain Casing

5 in. from surface ft. to 500 ft.

in. from ft. to ft.

~~XXXXXXXXXX~~ Open Hole - Uncased

6 in. from 500 ft. to 550 ft.

in. from ft. to ft.

(9) FOR REPLACEMENT WELLS give distance and direction from old well and plans for plugging it:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

(10) LAND ON WHICH GROUND WATER WILL BE USED:

Owner(s): Not applicable - monitor well No. of acres: \_\_\_\_\_

Legal description: \_\_\_\_\_

(11) DETAILED DESCRIPTION of the use of ground water: Household use and domestic wells must indicate type of disposal system to be used. Well will be installed to determine groundwater occurrence. If aquifer is

located, a pump test may be performed to determine the permeability and yield potential of such aquifer. The water level in the well could be periodically monitored for several year

(12) OTHER WATER RIGHTS used on this land, including wells. Give Registration and Water Court Case Numbers.

Type or right	Used for (purpose)	Description of land on which used
None		

(13) THE APPLICANT(S) STATE(S) THAT THE INFORMATION SET FORTH HEREON IS TRUE TO THE BEST OF HIS KNOWLEDGE.

*M. F. Lucid*  
SIGNATURE OF APPLICANT(S)

Form No.  
GWS-25

OFFICE OF THE STATE ENGINEER  
COLORADO DIVISION OF WATER RESOURCES  
818 Centennial Bldg., 1313 Sherman St., Denver, Colorado 80203  
(303) 866-3581

1095

WELL PERMIT NUMBER 055899 F  
DIV. 5 WD 52 DES. BASIN MD

APPLICANT

KEVIN B SCHNEIDER  
1308 CR 129  
GLENWOOD SPRINGS, CO 81601-

APPROVED WELL LOCATION

GARFIELD COUNTY  
NW 1/4 SE 1/4 Section 2  
Township 6 S Range 89 W Sixth P.M.

DISTANCES FROM SECTION LINES

1970 Ft. from South Section Line  
2250 Ft. from East Section Line

UTM COORDINATES

Northing: Easting:

(970) 945-6737

PERMIT TO CONSTRUCT A WELL

ISSUANCE OF THIS PERMIT DOES NOT CONFER A WATER RIGHT  
CONDITIONS OF APPROVAL

- 1) This well shall be used in such a way as to cause no material injury to existing water rights. The issuance of this permit does not assure the applicant that no injury will occur to another vested water right or preclude another owner of a vested water right from seeking relief in a civil court action.
- 2) The construction of this well shall be in compliance with the Water Well Construction Rules 2 CCR 402-2, unless approval of a variance has been granted by the State Board of Examiners of Water Well Construction and Pump Installation Contractors in accordance with Rule 18.
- 3) Approved pursuant to CRS 37-90-137(2) on the condition that this well is operated in accordance with the William C. Livingston and Melanie J. Livingston Augmentation Plan approved by the Division 5 Water Court in case no. 83CW379. If this well is not operated in accordance with the terms of said decree, it will be subject to administration including orders to cease diverting water.
- 4) Approved as an additional point of diversion to the Rock Gardens Well No. 1 (permit no. 29000-F). Applicant shall apply to the water court to amend the augmentation plan decreed in case no. 83CW379 to include this well.
- 5) The combined use of ground water from this well and Rock Gardens Well No. 1 is limited to a water supply for 36 mobile home sites, 5 cabins, 90 summer camp sites, 2 single family dwellings, and 3,000 square feet of landscape irrigation.
- 6) The simultaneous maximum pumping rate of this well and Rock Gardens Well No. 1 shall not exceed 50 GPM.
- 7) The combined annual withdrawal of ground water from this well and Rock Gardens Well No. 1 shall not exceed 17.43 acre-feet.
- 8) The return flow from the use of this well must be through an individual waste water disposal system of the non-evaporative type where the water is returned to the same stream system in which the well is located.
- 9) The owner shall mark the well in a conspicuous place with well permit number(s), name of the aquifer, and court case number(s) as appropriate. The owner shall take necessary means and precautions to preserve these markings.
- 10) A totalizing flow meter must be installed on this well and maintained in good working order. Permanent records of all diversions must be maintained by the well owner (recorded at least annually) and submitted to the Division Engineer upon request.
- 11) This well shall be constructed not more than 200 feet from the location specified on this permit and not less than 600 feet from any existing well not owned by the applicant, excluding permit no. 42664-F (waiver submitted).

NOTICE: This permit has been approved as an additional point of diversion to be operated pursuant to the terms and conditions of case no. 95CW69. You are hereby notified that you have the right to appeal the issuance of this permit, by filing a written request with this office within sixty (60) days of the date of issuance, pursuant to the State Administrative Procedures Act. (See Section 24-4-104 through 106, C.R.S.)

JD 6-13-01

APPROVED  
JD2

State Engineer

Receipt No. 0451428

DATE ISSUED JUN 14 2001

By

EXPIRATION DATE JUN 14 2002

Form No. GWS-11 11/00	STATE OF COLORADO OFFICE OF THE STATE ENGINEER 818 Centennial Bldg., 1313 Sherman St., Denver, CO 80203 (303) 866-3581 Fax (303) 866-3589	For Office Use Only  <div style="text-align: center;">           RECEIVED            RECEIVED            APR 01 2002            APR 01 2002            WATER RESOURCES            STATE ENGINEER            COLO.         </div> <div style="text-align: center; margin-top: 20px;"> <i>rec# 0451428</i> </div>
<b>CHANGE IN OWNERSHIP/ADDRESS CORRECTION OF THE WELL LOCATION</b>		
Insert the Well Permit Number <u>55899-F</u>		
Name, address and phone of the person claiming ownership of the well: <div style="display: flex; justify-content: space-between;"> <div style="width: 60%;">           NAME(S) <u>Rock Gardens Mobile Home Park &amp; Campground, LLC</u>            Mailing Address <u>c/o Leavenworth &amp; Karp, P.C. P. O. Drawer 2030</u>            City, St. Zip <u>Glenwood Springs, CO 81602</u>            Phone ( <u>970</u> ) <u>945-2261</u> </div> <div style="width: 35%; border: 1px solid black; padding: 5px;">           If your well has an absolute water right, decreed by the court and the well is not registered with the State Engineer, enter the Water Court Case Number / Civil Action Number and well number as decreed.         </div> </div>		
This form is filed by the named individual/entity claiming that they are the owner of the well permitted as referenced above. This filing is made pursuant to C.R.S. 37-90-143.		
WELL LOCATION: County <u>Garfield</u> Owner's Well Designation <u>Rock Gardens Well No. 2</u> <u>1308 County Road 129, Glenwood Springs, Colorado 81601</u> (Address) (City) (State) (Zip)		
NW <u>1/4</u> of the <u>SE</u> <u>1/4</u> , Sec. <u>2</u> , Twp. <u>6</u> <input type="checkbox"/> N. or <input checked="" type="checkbox"/> S., Range <u>89</u> <input type="checkbox"/> E. or <input checked="" type="checkbox"/> W., <u>6th</u> P.M.		
Distance from Section Lines <u>1970</u> Ft. From <input type="checkbox"/> N. or <input checked="" type="checkbox"/> S., <u>2250</u> Ft. From <input checked="" type="checkbox"/> E. or <input type="checkbox"/> W. Line.		
Subdivision Name <u>n/a</u> Lot <u>    </u> , Block <u>    </u> , Filing/Unit <u>    </u>		
The above listed owner(s) say(s) that he, she (they) own the well described herein. The existing record is being amended for the following reasons: <input checked="" type="checkbox"/> Change in name of owner <input type="checkbox"/> Change in mailing address <input type="checkbox"/> Correction of location for exempt wells permitted prior to May 8, 1972 and non-exempt wells permitted before May 17, 1965. Please see the reverse side for further information regarding correction of the well location.		
I (we) claim and say that I (we) (are) the owner(s) of the well described above and that the commencement of extraction of ground water from this well, lawfully made under the well permit, occurred on the date indicated, and that the statements made herein are true to my (our) knowledge.		
Please print the Signer's Name & Title <u>Rock Gardens Mobile Home Park &amp; Campground, LLC</u> By: <u>Kevin B. Schneider, Member</u>	Signature(s) of the new owner 	Date <u>3/21/02</u>
It is the responsibility of the new owner of this well to complete and sign the form. Signatures of agents are acceptable if an original letter of agency signed by the owner is attached to the form upon its receipt.		
For Office Use Only		
<b>ACCEPTED AS A CHANGE IN OWNERSHIP AND/OR MAILING ADDRESS.</b>		
 State Engineer	 By	<u>4-1-02</u> Date

SEP 09 2003



Tom Zancanella  
Zancanella & Associates  
1005 Cooper Ave.  
Glenwood Springs, CO 81601

August 5, 2003

Dear Tom,

This letter is to confirm that the Glenwood Springs Fire Department approves the water system up grades planned for the Rock Gardens, on County Road 129, in Garfield County, Colorado.

The approved up grades are:

1. A new 20,000 gallon water storage tank is to be installed near the entrance to on County Road 129. Water in this tank is to be used for domestic and fire extinguishment.
2. When the new tank is installed, the installer will attempt to connect the existing water supply tank to the new one. If the two tanks can be successfully connected the amount of available water in the system would be between 30,000 to 40,000 gallons.
3. A new six-inch water main will be installed to service the complex
4. On the new six-inch water main two new fire hydrants will be installed. One to be located near R.V. spaces 2 & 3 or on the north side of the expanded office building. The second new hydrant is to be installed near the new community/recreation center.
5. Dry hydrant; at our July 19, 2003 meeting we discussed installing a dry hydrant near the Colorado River. As the project develops I request we revisit this conversation and access if this hydrant is needed or not.
6. When the new water system is complete, please contact the Glenwood Fire Department so we can get fire flow rates on the system.
7. The new community center, additions to the office and residence complex and expanded storage/maintenance shop are to be sprinklered to NFPA 13 standards. I strongly recommend that the older parts of the buildings that will be added on to also be retro fitted with a fire sprinkler system. This is a key component in granting approval for the project because by sprinklering the buildings the amount of water storage needed on site can be greatly reduced.





8. Alarm system for the sprinklered buildings is to be designed to NFPA 72, 1999 Standards and monitored by a UL Listed Central Station.

If you have any questions please give me a call.

Sincerely,

*Ronald L. Biggers*

Ronald L. Biggers  
Fire Protection Analyst

DISTRICT COURT, WATER DIV. 5, COLORADO	
Court Address: Garfield County Courthouse 109 8 <sup>th</sup> Street, Suite 104 Glenwood Springs, CO 81601 (970) 947-3861 (970) 945-8756 fax	
CONCERNING THE APPLICATION OF:  ROCK GARDENS MOBILE HOME PARK & CAMPGROUND, L.L.C., in Eagle, Garfield, Grand and Pitkin Counties, Colorado	▲ COURT USE ONLY ▲  <hr/> Case Number: 02CW49  Div.: Ctrm.:
<b>RULING OF THE REFEREE</b>	

The above-entitled Application was filed on February 28, 2002, and an Amendment to the Application was filed on March 6, 2002. The Application and Amended Application (hereinafter "Application") were referred to the Water Referee for Water Division No. 5, State of Colorado, by the Water Judge of this Court in accordance with Colo. Rev. Stat. § 37-92- 101, et. seq.

The undersigned Referee, having made such investigations as are necessary to determine whether or not the statements in the Application are true, and having become fully advised with respect to the subject matter in the Application, does hereby enter this Ruling.

1. **Applicant.** The name and address of the Applicant is Rock Gardens Mobile Home Park & Campground, L.L.C., c/o Kevin B. Schneider, 1308 County Road 129, Glenwood Springs, CO 81601.
2. **Application.** The Application includes claims for conditional underground water rights and approval of a plan for augmentation. The statements in the Application are true.
3. **Notice and Jurisdiction.** Timely and adequate notice of said Application has been given in the manner prescribed by law. None of the water sources or diversion structures are located in the boundaries of any designated groundwater basin. This Court has jurisdiction over the subject matter of this proceeding and over all who have standing to appear whether they have appeared or not.
4. **Opposition.** No Statements of Opposition were filed.

5. **Division Engineer Consultation.** On October 17, 2002, the Water Division No. 5 Division Engineer issued a Summary of Consultation in this case. The Applicant provided information responsive to the Consultation to the Court. The Court has considered that Consultation pursuant to Colo. Rev. Stat. § 37-92- 302(4).
6. **Claim for Conditional Underground Water Rights for the Rock Gardens Well No. 2.** This claim requests adjudication of conditional underground water rights for the Rock Gardens Well No. 2 as described below.
  - A. Legal Description: The Rock Gardens Well No. 2 is located in the NW 1/4 of the SE 1/4 of Section 2, Township 6 South, Range 89 West of the 6<sup>th</sup> P.M., at a point 2,368 feet West of the East section line and 2,153 feet North of South section of said Section 2.
  - B. Source: Groundwater tributary to the Colorado River.
  - C. Date of appropriation: February 1, 2002.
  - D. Amount Claimed: 0.11 c.f.s. (50 g.p.m.) conditional.
  - E. Use: Domestic, irrigation and commercial purposes more fully described in Subparagraph 8.D below.
  - F. Well Permit: On June 14, 2001, the Rock Gardens Well No. 2 was permitted as Colorado Division of Water Resources Well Permit No. 55899-F. Under that current permit, the combined use of groundwater from this well and the Rock Gardens Well No. 1, described in Subparagraph 8.A below, shall not exceed 50 g.p.m. Upon the entry of this decree, an application for a new well permit will be submitted to the Colorado Division of Water Resources consistent with the new uses decreed for the Well No. 2 in this case.
7. **Claim for Conditional Underground Water Rights for the Rock Gardens Well No. 3.** This claim requests the adjudication of conditional underground water rights for the Rock Gardens Well No. 3 as described below.

- A. Legal Description: The Rock Gardens Well No. 3 will be located in the SW 1/4 of the SE 1/4 of Section 2, Township 6 South, Range 89 West of the 6<sup>th</sup> P.M., at a point 1,534 feet West of the East section line and 1,129 feet North of South section of said Section 2.
  - B. Source: Groundwater tributary to the Colorado River.
  - C. Date of appropriation: February 1, 2002.
  - D. Amount Claimed: 0.22 c.f.s. (100 g.p.m.) conditional.
  - E. Use: Domestic, irrigation and commercial purposes more fully described in Subparagraph 8.D below.
  - F. Well Permit: Upon the entry of this decree, an application for a well permit for this well will be submitted to the Colorado Division of Water Resources consistent with the uses decreed for Well No. 3 in this case.
8. **Claim for Approval of Plan for Augmentation.** This claim requests the approval of a plan for augmentation described below.
- A. **Structures to be Augmented:** Rock Gardens Wells No. 1, 2 and 3, hereafter referred to as the "Augmented Wells," will be augmented by Applicant's plan for augmentation. All of the Augmented Wells are or will be located on land owned by Applicant.
    - 1. Well No. 2 is described in Paragraph 6 above.
    - 2. Well No. 3 is described in Paragraph 7 above.
    - 3. Well No. 1 is described below. The Rock Gardens Well No. 1 was decreed in Case No. 83CW380 on February 6, 1986, in the District Court for Water Division No. 5.
      - a. Decreed point of diversion: The well was originally decreed at a point whence the East Quarter Corner of Section 2, Township 6 South, Range 89 West of the 6<sup>th</sup> P.M. bears North 44°31' East

2485.0 feet. Said well is situated approximately 1,071 feet North of the South line and 1,810 feet West of the East line of said Section 2. On August 26, 1997, in Case No. 95CW69, the decreed location of the Rock Gardens Well No. 1 was changed to its actual location as follows: The Rock Gardens Well No. 1 is located at a point in the NW 1/4 of the SE 1/4 of Section 2, Township 6 South, Range 89 West of the 6<sup>th</sup> P.M., at a point 1975 feet from the South section line and 2350 feet from the East section line of said Section 2.

- b. Source: Colorado River.
- c. Appropriation date: December 21, 1983.
- d. Amount: 50 g.p.m. (of which 28.3 g.p.m. is absolute and 21.7 is conditional).
- e. Use: Domestic, irrigation and commercial purposes.
- f. Well Permit: The Rock Gardens Well No. 1 is currently permitted as Colorado Division of Water Resources Well Permit No. 29000-F. The well permit states that ground water production shall be limited to a maximum of 50 g.p.m. to provide a water supply for Rock Gardens, an existing mobile home park and camping park. The development is composed of 36 mobile home sites, five cabins, ninety summer camp sites, and two single-family residences. The average annual amount of ground water to be appropriated is 10 acre feet.

**B. Pumping Rates, Annual Withdrawals and Stream Depletions.**

1. Pumping Rates. Applicant requests a cumulative pumping rate of 150 g.p.m. from the Augmented Wells for the uses described in Paragraphs 6 and 7 above and in Subparagraph 8.D. below.
2. Withdrawals. The annual withdrawals by the Augmented Wells will be limited as follows:

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Well No. 1	-	10.0 acre feet
Well No. 2	-	19.9 acre feet
Well No. 3	-	<u>5.2 acre feet</u>
Total	-	35.1 acre feet✓

3. Depletions. The Augmented Wells all are hydraulically connected to the Colorado River.

a. Wells No. 1 and 2. Depletions from pumping these Wells will have delayed effects on the surface flow of the Colorado River. Exhibit A attached hereto ("Table 1 - Estimated Water Requirements - Rock Gardens") shows in Column 11 the monthly depletion factors associated with that Well pumping which will be used in the Applicant's accounting and reporting under this Ruling.

b. Well No. 3. This Well is located within 100 feet of the Colorado River, and its depletive effect on surface flow will be essentially contemporaneous with Well pumping.

C. **Water Rights to be Used for Augmentation**. Applicant has contracted for the delivery of reservoir storage water to replace out-of-priority depletions associated with use of water from the Augmented Wells. Applicant holds Contract No. CW02005 from the Colorado River Water Conservation District. Applicant has provided evidence to the Court of the existence of that Contract in the amount of augmentation storage water required for the plan, including water to replace out-of-priority depletions and for transit losses associated with storage water deliveries. The Colorado River Water Conservation District owns and controls water supplies through its Colorado River Water Projects Enterprise as described below.

1. Wolford Mountain Reservoir. The River District owns and operates Wolford Mountain Reservoir (f/k/a Gunsight Pass Reservoir) which has the following water rights.

Case No. 87CW283:

Decree Date: November 20, 1989

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Legal description of place of storage: The dam is located in the SW1/4 of the NE1/4 of Section 25, T. 2 N., R. 81 W., 6th P.M. The intersection of the dam axis with the right abutment will occur at a point which bears W. 54°54'20" E. a distance of 3,716.46 feet from the NW Corner of said Section 25.

Source: Muddy Creek and its tributaries

Amount: 59,993 acre feet conditional; of this amount, 32,986 acre feet were made absolute for piscatorial and recreational uses by decree entered in Water Court Case No. 95CW251.

Appropriation Date: December 14, 1987

Use: All beneficial uses, including but not limited to domestic, municipal, agricultural and recreational uses, which uses satisfy the requirements of the Windy Gap Settlement made with the Municipal Subdistrict of the Northern Colorado Water Conservancy District; use to meet the water requirements of the inhabitants of the River District for all uses, including uses in the Middle Park area; and use to meet the terms of a lease agreement executed March 3, 1987 between the River District and the City and County of Denver.

**Case No. 95CW281:**

Decree Date: August 26, 1997

Legal description of place of storage: The dam is located in the SW1/4 of the NE1/4 of Section 25, T. 2 N., R. 81 W., 6th P.M. The as-built intersection of the dam axis (Sta. D19+35.61) with the West Access Road (Sta. WR50+55.05), as shown on the Colorado River Water Conservation District, Wolford Mountain Project, Ritschard Dam construction drawing "Dimensional Dam Layout" sheet 8 of 94, occurs at a point which bears S. 53°24'56" E. a distance of 3,395.51 feet from the NW Corner of said Section 25; the bearing of said dam axis from Sta. 19+35.61 to Sta. 0+00 being S. 75° 28' 29" E.

Source: Muddy Creek and its tributaries

Amount: 6,000 acre feet conditional

Appropriation Date: January 16, 1995

Use: All beneficial uses by and for the benefit of the inhabitants of the Colorado River Water Conservation District, including but not limited to domestic, municipal, industrial, irrigation, agricultural, piscatorial and recreational; such uses will include environmental mitigation, including environmental mitigation requirements associated with the Wolford

Mountain Project; such uses will be made directly or by substitution, augmentation, or exchange. None of the water stored in the exercise of the right will be delivered directly or by exchange, substitution, or otherwise for use outside of Colorado Water Division No. 5.

**Case No. 98CW237:**

**Decree Date:** July 6, 2000.

**Legal Description of place of storage:** Same as for 95CW281.

**Source:** Muddy Creek and its tributaries

**Amount:** 30,000 acre feet conditional with 15,895 AF being absolute for recreational and piscatorial and flood control.

**Appropriation Date:** November 17, 1998

**Use:** Certain of the beneficial uses previously adjudicated for Wolford Mountain Reservoir in Case No. 87CW283, District Court for Colorado Water Division No. 5 (November 20, 1989 Judgment and Decree), and Case No. 95CW281, District Court for Colorado Water Division No. 5 (August 26, 1997 Judgment and Decree).

**87CW283:** The reservoir will be used to satisfy the requirements of the Windy Gap Settlement made with the Municipal Subdistrict of the Northern Colorado Water Conservancy District. This will involve all uses, including but not limited to domestic, municipal, agricultural, and recreational uses. The reservoir will also be used to meet the water requirements of the inhabitants of the River District for all uses, including uses in the Middle Park area.

**95CW281:** All beneficial uses by and for the benefit of the inhabitants of the Colorado River Water Conservation District, including but not limited to domestic, municipal, industrial, irrigation, agricultural, piscatorial and recreational; such uses will include environmental mitigation, including environmental mitigation requirements associated with the Wolford Mountain Reservoir Project; such uses will be made directly or by substitution, augmentation, or exchange.

**Remarks:** The Refill Right described herein will be exercised to provide supply for the Western Slope uses of water from Wolford Mountain Reservoir described above, including flood control, other operational purposes, and environmental mitigation and enhancement for the benefit of uses within the District. The Refill Right will not be used in conjunction with the Reservoir capacity (24,000 a.f.) which is allocated for the supply



of water to the Denver Board of Water Commissioners under Applicant's contractual relationship with Denver, or the Reservoir capacity (6,000 AF) which is allocated for Colorado River endangered fish releases.

2. **Ruedi Reservoir.** The River District holds Contracts from the United States Bureau of Reclamation for 1,200 acre feet of annual supply from Ruedi Reservoir. This water will be used in addition to and substitution for Wolford Mountain Reservoir water in appropriate circumstances where Ruedi water is physically equivalent to Wolford water. The decree descriptions of Ruedi Reservoir's water rights follow.

Ruedi Reservoir was decreed in the Garfield County District Court in Civil Action No. 4613 for domestic, municipal, irrigation, industrial, generation of electrical energy, stock watering and piscatorial uses, with an appropriation date of July 29, 1957. By subsequent order of the Water Court entered in Case No. W-789-76, the decreed amount of this reservoir has been fixed at 102,369 acre feet. Ruedi Reservoir is located in Sections 7, 8, 9, 11 and 14 through 18, T. 8 S., R. 84 W., 6th P.M., in Eagle and Pitkin Counties, and derives its water supply from the Fryingpan River. By decree of the Water Court in Case No. 81CW34 Ruedi Reservoir was decreed a refill right in the amount of 101,280 AF conditional. In Water Court Case No. 95CW95, 44,509 AF was made absolute.

**D. Statement of Plan for Augmentation:**

1. **General description of water supply.** Applicant owns the Rock Gardens Campground and Mobile Home Park ("Rock Gardens"), which is comprised of approximately 17 acres, located in Section 2, Township 6 South, Range 89 West of the 6<sup>th</sup> P.M., in Garfield County, Colorado.

On June 5, 1984, the District Court in and for Water Division No. 5, State of Colorado, entered a Decree in Case No. 83CW379, which, inter alia, decreed a plan for augmentation to provide a legal water supply for the existing development within Rock Gardens. Applicant proposes to supercede that plan for augmentation with a new plan to provide an integrated water supply system for an amended property development. The plan will provide for a potable water supply system to serve in-house domestic and in-building commercial needs and irrigation for lawns,

gardens and community areas. The purpose of the augmentation plan described herein is to expand the augmentation protection for the water supply for the Rock Gardens development and to allow for the augmentation of out-of-priority depletions from the Rock Gardens Wells No. 1, 2 and 3.

2. Estimated water demands, consumptive uses and augmentation requirements. The proposed water demand for Rock Gardens will be associated with the combined use of mobile home sites, cabins, RV spaces, summer camp sites, single family dwellings, irrigation of lawns, gardens and community areas, a public flush toilet, a public faucet and a paper service snack bar, and/or other uses which will be approved in the land use planning provision. Exhibit A attached hereto summarizes the estimated diversions and consumptive use demands for the several proposed uses from the Rock Gardens water system supplied by the Augmented Wells. Annual diversions are estimated at 35.06 A.F. and related annual consumptive use is estimated at 5.63 A.F. Transit losses associated with the delivery of the augmentation water are estimated as 5% of the reservoir release.
  - a. In-building Uses. The development will require a water supply to approximately 76.3 Equivalent Residential Units (EQRs). One EQR is reasonably estimated as the amount of water required for 3.5 persons each using 100 gallons per day. The total 76.3 EQRs will be comprised of a mix of the following types of uses and their associated EQR values, depending upon the development plan which is ultimately approved. Applicant will develop reporting and accounting forms to be used to provide for reliable administration of Applicant's uses and augmentation plan operation.

<b>EQR Category</b>	<b>EQR Value</b>
Mobile Homes	0.8
Cabins	0.5
RV Spaces	0.4
Single-Family Dwelling	1
Multi-Family Dwelling Units	0.6
Camp Sites	0.35
20 Seat Snack Bar	1
Commercial Retail <sup>1</sup>	1
Commercial Offices <sup>2</sup>	1
Industrial <sup>3</sup>	1
Laundromat	0.35
Service Station	1
Day Users (each)	0.02

- Notes: 1. Up to 5,000 square feet.  
2. Up to 7,000 square feet.  
3. Up to 8,000 square feet.

The development will be served by a community waste disposal system, and ninety-five percent of the water utilized will be returned to the Colorado River, resulting in an annual in-building consumptive use of 1.5 acre-feet.

- b. Irrigation Uses. Irrigation requirements are estimated at 4.14 acre-feet of consumptive use based on a diversion of 5.18 acre-feet and an application efficiency of 80% for the irrigation of two acres of pasture grasses within the development.

3. Augmentation Water Supplies. Augmentation water will be provided from the sources identified in Subparagraph 8.C above as necessary to augment out-of-priority depletions caused to the Colorado River by diversions of water from the Augmented Wells and to provide for transit losses associated with delivery of reservoir water. A portion of the annual consumptive use may occur at times when there is no call on the Colorado River system. The plan provides for full replacement of depletions from Applicant's uses from the Augmented Wells and therefore will prevent injury even if the Augmented Wells are out-of-priority year-around.
9. **Noninjury.** Subject to compliance with the terms and conditions stated herein, Applicant's plan for augmentation can be implemented without causing injury to the rights of owners or users of vested and decreed conditional water rights.
10. **Compliance with Law.** The Application is in accordance with Colorado law. Applicant has fulfilled all legal requirements for entry of a judgment and decree in this case.
  - A. The Application filed herein is complete, covering all applicable matters required under the provisions of C.R.S. § 37-92-101, *et seq.*
  - B. Applicant has fulfilled all legal requirements for a decree confirming conditional water rights for the Rock Gardens Well Nos. 2 and 3, including those requirements contained in C.R.S. §§ 37-92-302 and 305. Applicant has established that water can and will be diverted and will be beneficially used, and this integrated water supply project can and will be completed with diligence and within a reasonable time.
  - C. Applicant has fulfilled all legal requirements for a decree for the requested plan for augmentation, including those contained in C.R.S. §§ 37-92-103, 37-92-302 and 37-92-305.
11. **Administration:** The Application as decreed herein is administerable by the State and Division Engineers.

**12. Conditional Water Rights Confirmed.**

- A. The Court hereby confirms an underground water right to the Rock Gardens Well No. 2 in the amount of 0.11 c.f.s. (50 g.p.m.) conditional, as more fully described above in Paragraph 6; subject, however, to all earlier priority rights of others and to the integration and tabulation by the Division Engineer of such priorities in accordance with law.
- B. The Court hereby confirms an underground water right to the Rock Gardens Well No. 3 in the amount of 0.22 c.f.s.(100 g.p.m.) conditional, as more fully described above in Paragraph 7; subject, however, to all earlier priority rights of others and to the integration and tabulation by the Division Engineer of such priorities in accordance with law.

**13. Augmentation Plan Approved.** The plan for augmentation described in Paragraph 8 above is hereby approved and granted subject to operation of that plan in accordance with the terms and conditions of this Ruling. The use of water from the structures set forth above and augmented herein will not injuriously affect the owner of or persons entitled to use water under any vested water right or decreed conditional water right.

- A. When the augmentation plan described herein is in effect, Applicant may divert up to a total of 150 g.p.m. from the Augmented Wells, subject to the terms and conditions contained herein, including the following annual withdrawal limitations:

Well No. 1	-	10.0 acre feet
Well No. 2	-	19.9 acre feet
Well No. 3	-	<u>5.2 acre feet</u>
Total	-	35.1 acre feet

- B. To the extent that exercise of the rights sought herein depend upon use of Wolford Mountain Reservoir water or Ruedi Reservoir water as an augmentation source, by contract with the Colorado River Water Conservation District, such rights shall not be exercised if that augmentation water or an acceptable alternate source is not available. Applicant's use of such augmentation water shall be subject to the existence of and terms of a valid contract from the Colorado River Water Conservation District.

- C. Well permits shall be issued by the State Engineer pursuant to C.R.S. § 37-90-137(2) for the construction and/or operation of the Augmented Wells pursuant to this Ruling.
- D. The Applicant or owner of the water rights shall install measuring devices, provide accounting, and supply calculations regarding the timing of depletions as required by the Division Engineer for the operation of this plan. The Applicant or owner of the water rights shall also file an annual report with the Division Engineer by November 15<sup>th</sup> of each year summarizing diversions and replacements made under this plan.
- E. Pursuant to C.R.S. § 37-92-305(8), the State Engineer shall curtail all out-of-priority diversions under Applicant's plans for augmentation, the depletions from which are not so replaced as to prevent injury to vested water rights.

**14. Retained Jurisdiction.**

- A. The plan for augmentation decreed herein shall be subject to reconsideration by the Water Judge on the question of injury to the vested rights of others. The period of retained jurisdiction shall be five (5) years after 75% of buildout of Applicant's development. That level of buildout shall be based upon service connection by Applicant to provide 75% of the 76.3 EQRs anticipated and described in subparagraph 8.D.2 above.
- B. In the event any party petitions the Court for reconsideration of the question of injury, the petitioning party shall give notice to all other parties. The petition for reconsideration shall be made in good faith, under oath, and shall set forth with particularity the factual basis for the requested reconsideration, together with proposed decree modification to effect the petition and resolve the issue of alleged injury. The party filing the petition for reconsideration shall have the burden of going forward to establish the *prima facie* facts alleged in the petition. If the Court finds those facts to be established, Applicant shall then bear the burden of proof to show:
  - 1. That any modifications sought by Applicant will avoid injury to other appropriators; or

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2. That any modifications sought by the petitioning party are not required to avoid injury to other appropriators; or
  3. That any term or condition proposed by Applicant in response to the petition avoids injury to other appropriators.
15. **Supercedes Prior Decree.** This Ruling supercedes and replaces the Decree entered by this Court in Case No. 83CW379 on June 5, 1984, and that Decree is hereby vacated.

It is accordingly ORDERED that this Ruling shall be filed with the Water Clerk subject to Judicial review.

It is further ORDERED that a copy of this Ruling shall be filed with the Division Engineer for Water Division No. 5 and with the State Engineer.

Dated this \_\_\_\_ day of \_\_\_\_\_ 2002.

BY THE COURT:

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Daniel B. Petre, Water Referee

The Court finds that no protest was filed to the foregoing Ruling of the Referee. The foregoing Ruling is confirmed and approved and is made the Judgment and Decree of this Court. Should the Applicant desire to maintain the conditional water rights decreed herein, an application for finding of reasonable diligence shall be filed during the month of \_\_\_\_\_, 200\_\_ unless a determination has been made prior to that time that such conditional water rights have been made absolute by reason of completion of the appropriations.

Dated this \_\_\_\_ day of \_\_\_\_\_, 200\_\_.

BY THE COURT:

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Thomas W. Ossola, Water Judge

Table 1  
Estimated Water Requirements - Rock Gardens (proposed conditions)

Water Use Inputs

Domestic Demands				Commercial Demands				Other Demands			
# of EQRs	66.3	EQRs		# of Commercial EQR	10.0						
# persons/EQR	3.5	cap/unit		# persons/EQR	3.5						
# gallons/person/day	100	gpcd		# gallons/person/day	100	gpcd					
Percent Consumed	5%			Percent Consumed	5%						
Lawn Irrigation	0	sq-ft/unit		Lawn Irrigation	0	sq-ft/unit					
Application Efficiency	80%			Application Efficiency	80%			Irrigated Open Space	2.00	acres	
Crop Irrig reqmnt (CIR)	2.07	ft		Crop Irrig reqmnt (CIF)	2.07	ft		Application Efficiency	80%		
				Crop Irrig reqmnt (CIR)	2.07	ft		Crop Irrig reqmnt (CIR)	2.07	ft	

Water Use Calculations

Month	Division Requirements											Consumptive Use						
	(1) Domestic In-house (ac-ft)	(2) Commercial In-house (ac-ft)	(3) Open Space Irrigation (ac-ft)	(4) Total (ac-ft)	(5) Average Flow (gpm)	(6) Domestic In-house (ac-ft)	(7) Commercial In-house (ac-ft)	(8) Open Space Irrigation (ac-ft)	(9) Total (ac-ft)	(10) Plus 5% loss	(11) Depletion Factors (%)	Total Lagged Depletions (ac-ft)						
Jan	2,206	0.33	0.00	2.54	18.5	0.110	0.02	0.00	0.13	0.13	8.60%	0.51						
Feb.	1,992	0.30	0.00	2.29	18.5	0.100	0.02	0.00	0.11	0.12	8.60%	0.51						
Mar	2,206	0.33	0.00	2.54	18.5	0.110	0.02	0.00	0.13	0.13	8.50%	0.50						
APR	2,134	0.32	0.00	2.46	18.5	0.107	0.02	0.00	0.12	0.13	8.30%	0.49						
May	2,206	0.33	1.00	3.54	25.8	0.110	0.02	0.80	0.93	0.97	8.20%	0.49						
Jun	2,134	0.32	1.25	3.71	28.0	0.107	0.02	1.00	1.12	1.18	8.00%	0.47						
Jul.	2,206	0.33	1.18	3.71	27.1	0.110	0.02	0.94	1.07	1.12	7.90%	0.47						
Aug.	2,206	0.33	0.88	3.41	24.9	0.110	0.02	0.70	0.83	0.87	8.00%	0.47						
Sep	2,134	0.32	0.68	3.13	23.6	0.107	0.02	0.54	0.66	0.70	8.20%	0.49						
Oct	2,206	0.33	0.20	2.74	20.0	0.110	0.02	0.16	0.29	0.30	8.40%	0.50						
Nov.	2,134	0.32	0.00	2.46	18.5	0.107	0.02	0.00	0.12	0.13	8.60%	0.51						
DEC	2,206	0.33	0.00	2.54	18.5	0.110	0.02	0.00	0.13	0.13	8.80%	0.52						
Annual	25,969	3.92	5.18	35.06	21.71	1.30	0.20	4.14	5.63	5.92	1.00	5.92						

Depletion Factors based on SEO Glover Calculation (T = 50000 gpd/ft, S 0.02, D = 750 ft to wells and 1400 ft to bounds)  
Only Wells 1 & 2 are lagged. Well 3 is within 100 feet of the stream and thus requires no lagging.

Accounting to be provided each year to SEO

21-Nov-02

Zancanella & Assoc., Inc.  
Water Resources Engineers  
Glenwood Springs, CO  
Job# 20739 proposed cond.wk4



Colorado Department of Public Health and Environment - Drinking Water Section  
REPORTING FORM FOR BACTERIOLOGICAL ANALYSES

SEP 13 2001

SAMPLER: PLEASE FILL OUT ONE FORM FOR EACH INDIVIDUAL SOURCE/PLANT or COMPOSITE SET

YES (X) or NO ( ) THESE RESULTS ARE TO BE USED TO FULFILL STATE SAMPLING REQUIREMENTS

PWSID #: 123685 COUNTY: Garfield DATE COLLECTED: 8/1/01  
SYSTEM/ESTABLISHMENT NAME: Rock Gardens MHP  
SYSTEM ADDRESS: 40 Zancanella & Assoc.  
1005 Cooper Ave. City: Glenwood Spgs. State: CO Zip: 81601  
CONTACT PERSON: Brad Peek PHONE: (970) 945-5700  
SAMPLE COLLECTED BY: Brad Peek TIME COLLECTED: 11:00 AM  
WATER TYPE: RAW (No chlorine or other treatment) (X) or CHLORINATED ( ) or OTHER TREATMENT ( )  
SOURCE(S): LOCATION(S): - Address/Area SAMPLE POINT(S):

Rock Gardens Well #1A | 1308 C.R. 129 | Wellhead

For Laboratory Use Only Below This Line

LABORATORY SAMPLE #: 10802A1 CLIENT NAME or ID#: Rock Gardens #01-4082  
LABORATORY NAME: ADAMS LABORATORY LAB PHONE #: 303-399-3215  
DATE/TIME RECEIVED IN LABORATORY: 8/2/01 1:00  
DATE/TIME ANALYZED: 8/2/01 1:20  
COMMENTS:

PARAMETER	(#/100ml) RESULT	(#/100ml) MCL	SM METHOD	(#/100ml) LAB MDL
Coliform, Total	<u>PRESENT</u>	<u>&lt;1</u>	<u>9222.8</u>	<u>1 cfm</u>

Everett Adams Microbiologist 8.3.01  
Reviewed & Approved by Title Date

MAIL RESULTS TO: Colorado Department of Public Health and Environment, WQCD-DW-82, 4300 Cherry Creek Drive South, Denver, CO 80222-1530

Laboratory: Call drinking water section of CDPHE immediately with any results other than <1 or absent.  
(303) 692-3547

Colorado Department of Public Health and Environment – Drinking Water Section  
Reporting form for Nitrate/Nitrite as Nitrogen analyses

Sampler: PLEASE FILL OUT ONE FORM – FOR EACH INDIVIDUAL SOURCE/PLANT OR  
COMPOSITE SET

YES [☒] or NO [☐] THESE RESULTS ARE TO BE USED TO FULFILL STATE SAMPLING  
REQUIREMENTS

PWSID #: 123685 COUNTY: Garfield

DATE COLLECTED: 8/1/01

SYSTEM/ESTABLISHMENT NAME: Rock Gardens MHP

SYSTEM/ADDRESS: c/o Zancanella & Assoc., 1005 Cooper Ave. Glenwood Springs  
CITY

CO 81601  
STATE ZIP

STREET ADDRESS/PO BOX

CONTACT PERSON: Brad Peek

PHONE: (970)945-5700

SAMPLE COLLECTED BY: Brad Peek

TIME COLLECTED: 11:00 am

WATER TYPE: RAW [☒]

CHLORINATED [☐]

OTHER TREATMENT [☐]

SOURCE(S):

LOCATION(S):

SAMPLE POINT(S):

Rock Gardens Well #1A

1308 C.R. 129

Wellhead

DO SAMPLES NEED TO BE COMPOSITED BY LABORATORY? YES [☐] OR NO [☒]

*For Laboratory Use Only Below This Line*

LABORATORY SAMPLE #: 01-4082-01

CLIENT NAME OR ID#: Well #1A

LABORATORY NAME: Evergreen Analytical Laboratory

LAB PHONE: (303) 425-6021

DATE RECEIVED IN LABORATORY: 8/2/01

DATE ANALYZED: 8/2/01

COMMENTS:

PARAMETER	RESULT (mg/L)	MCL (mg/L)	EPA METHOD	LAB MDL (mg/L)
NITRATE/NITRITE-N	0.32	10.0	300.0	0.076
NITRATE-N	0.32	10.0	300.0	0.056
NITRITE-N	BDL	1.0	300.0	0.076

NT = Not Tested for compound.

mg/L = milligrams per Liter.

MCL = Maximum Contaminant Level.

LAB MDL = Laboratory Method Detection Limit.

H = Holding Time has been exceeded.

BDL = Below Detection Limit.

Carl M. Hunt  
Reviewed and approved by

Technical Director  
Title

8/20/01  
Date

MAIL RESULTS TO: Colorado Department of Public Health and Environment, WQCD-DW-B2, 4300 Cherry Creek Drive South, Denver, CO, 80222-1530

Colorado Department of Public Health and Environment – Drinking Water Section  
Reporting form for Corrosivity analyses

Sampler: PLEASE FILL OUT ONE FORM – FOR EACH INDIVIDUAL SOURCE/PLANT OR COMPOSITE SET

YES ☒ or NO ☐ THESE RESULTS ARE TO BE USED TO FULFILL STATE SAMPLING REQUIREMENTS

PWSID #: 123685 COUNTY: Garfield

DATE COLLECTED: 8/1/01

SYSTEM/ESTABLISHMENT NAME: Rock Gardens MHP

SYSTEM/ADDRESS: c/o Zancanella & Assoc., 1005 Cooper Ave.  
STREET ADDRESS/PO BOX

Glenwood Springs  
CITY

CO 81601  
STATE ZIP

CONTACT PERSON: Brad Peek

PHONE: (970) 945-5700

SAMPLE COLLECTED BY: Brad Peek

TIME COLLECTED: 11:00 am

WATER TYPE: RAW ☒

CHLORINATED ☐

OTHER TREATMENT ☐

SOURCE(S):

LOCATION(S):

SAMPLE POINT(S):

Rock Gardens Well #1A

1308 C.R. 129

Wellhead

*For Laboratory Use Only Below This Line*

LABORATORY SAMPLE #: 01-4082-01

CLIENT NAME OR ID#: Well #1A

LABORATORY NAME: Evergreen Analytical Laboratory

LAB PHONE: (303) 425-6021

DATE RECEIVED IN LABORATORY: 8/2/01

DATE ANALYZED: 8/3/01 to 8/13/01

COMMENTS:

PARAMETER	RESULT (mg/L)	MCL (mg/L)	EPA METHOD	LAB MDL (mg/L)
LANGLIER INDEX	+0.24	***	SM 2330B	N/A
CALCIUM CARBONATE	137	N/A	200.8	0.34
DISSOLVED SOLIDS	196	N/A	SM 2540C	10.0
pH	7.66	N/A	150.1	N/A
TOTAL ALKALINITY	194	N/A	SM 2320B	5.0
TEMPERATURE	20 °C	N/A		

NT = Not Tested for compound.

mg/L = milligrams per Liter.

MCL = Maximum Contaminant Level.

LAB MDL = Laboratory Method Detection Limit.

H = Holding Time has been exceeded.

BDL = Below Detection Limit.

N/A = Not applicable.

\*\*\* = If Langelier Index is a negative number, water is corrosive.

If Langelier Index is zero, water is balanced.

If Langelier Index is a positive number, water is scale forming.

Reviewed and approved by

Title

Date

MAIL RESULTS TO: Colorado Department of Public Health and Environment, WQCD-DW-B2, 4300 Cherry Creek Drive South, Denver, CO, 80222-1530

Colorado Department of Public Health and Environment – Drinking Water Section  
Reporting form for Original, Phase II, V Inorganic analyses

Sampler: PLEASE FILL OUT ONE FORM – FOR EACH INDIVIDUAL SOURCE/PLANT OR COMPOSITE SET

YES ☒ or NO ☐ THESE RESULTS ARE TO BE USED TO FULFILL STATE SAMPLING REQUIREMENTS

PWSID #: 123685

COUNTY: Garfield

DATE COLLECTED: 8/1/01

SYSTEM/ESTABLISHMENT NAME: Rock Gardens MHP

SYSTEM/ADDRESS: c/o Zancanella & Assoc., 1005 Cooper Ave.  
STREET ADDRESS-PO BOX

Glenwood Springs  
CITY

CO 81601  
STATE ZIP

CONTACT PERSON: Brad Peek

PHONE: (970) 945-5700

SAMPLE COLLECTED BY: Brad Peek

TIME COLLECTED: 11:00 am

WATER TYPE: RAW ☒

CHLORINATED ☐

OTHER TREATMENT ☐

SOURCE(S):

LOCATION(S):

SAMPLE POINT(S):

Rock Gardens Well #1A

1308 C.R. 129

Wellhead

DO SAMPLES NEED TO BE COMPOSITED BY LABORATORY? YES ☐ OR NO ☒

*For Laboratory Use Only Below This Line*

LABORATORY SAMPLE #: 01-4082-01

CLIENT NAME OR ID#: Well # 1A

LABORATORY NAME: Evergreen Analytical Laboratory

LAB PHONE: (303) 425-6021

DATE RECEIVED IN LABORATORY: 8/2/01

DATE ANALYZED: 8/2/01 to 8/10/01

COMMENTS:

PARAMETER	RESULT (mg/L)	MCL (mg/L)	EPA METHOD	LAB MDL (mg/L)
ANTIMONY	BDL	0.006	200.8	0.002
ARSENIC	BDL	0.05	200.8	0.01
BARIUM	BDL	2.0	200.8	0.2
BERYLLIUM	BDL	0.004	200.8	0.001
CADMIUM	BDL	0.005	200.8	0.001
CHROMIUM	BDL	0.1	200.8	0.02
COPPER	BDL	1.3*	200.8	0.1
CYANIDE	0.034	0.2	SM4500-CN E	0.01
FLUORIDE	BDL	4.0	SM4500-F C	0.4
LEAD	BDL	0.015*	200.8	0.005
MERCURY	BDL	0.002	245.1	0.0002
NICKEL	BDL	0.1	200.8	0.02
SELENIUM	BDL	0.05	200.8	0.01
SODIUM	2.1	**	200.8	1
SULFATE	6	500.0**	300.0	0.5
THALLIUM	BDL	0.002	200.8	0.001

NT = Not Tested for compound

mg/L = milligrams per Liter

MCL = Maximum Contaminant Level

LAB MDL = Laboratory Method Detection Limit

H = Holding Time has been exceeded

BDL = Below Detection Limit

\* = Not an MCL. "Action Level"

\*\* = Not an MCL. "Monitoring Requirement Only"

*Carl M. Smith*

*TECHNICAL DIRECTOR*

*8/20/01*

Reviewed and approved by

Title

Date

MAIL RESULTS TO: Colorado Department of Public Health and Environment, WQCD-DW-32, 4300 Cherry Creek Drive South, Denver, CO, 80222-1530

Colorado Department of Public Health and Environment – Drinking Water Section  
Reporting form for Phase I, II, and V Organic analyses

Sampler: PLEASE FILL OUT ONE FORM – FOR EACH INDIVIDUAL SOURCE/PLANT OR  
COMPOSITE SET

YES ☒ or NO ☐ THESE RESULTS ARE TO BE USED TO FULFILL STATE SAMPLING  
REQUIREMENTS

PWSID #: 123685 COUNTY: Garfield

DATE COLLECTED: 8/1/01

SYSTEM/ESTABLISHMENT NAME: Rock Gardens MHP

SYSTEM/ADDRESS: c/o Zancanella & Assoc., 1005 Cooper Glenwood Springs  
Ave. CITY

CO 81601  
STATE ZIP

STREET ADDRESS/PO BOX

CONTACT PERSON: Brad Peek

PHONE: (970) 945-5700

SAMPLE COLLECTED BY: Brad Peek

TIME COLLECTED: 11:00 am

WATER TYPE: RAW ☒

CHLORINATED ☐

OTHER TREATMENT ☐

SOURCE(S):

LOCATION(S):

SAMPLE POINT(S):

Rock Gardens Well #1A

1308 C.R. 129

Wellhead

DO SAMPLES NEED TO BE COMPOSITED BY LABORATORY? YES ☐ OR NO ☒

If yes, record information for second source or second PWSID #:

SOURCE(S):

LOCATION(S):

SAMPLE POINT(S):

*For Laboratory Use Only Below This Line*

LABORATORY SAMPLE #: 01-4082-01

CLIENT NAME OR ID #: Well # 1A

LABORATORY NAME: Evergreen Analytical Laboratory

LAB PHONE: (303) 425-6021

DATE RECEIVED IN LABORATORY: 8/2/01

DATE ANALYZED: 8/2/01 to 8/15/01

COMMENTS:

ALL RESULTS SHOULD BE REPORTED IN µg/l

**UNREGULATED VOC's (TRICHALOMETHANES):**

These THM results do NOT count as the regulated THM results for systems serving greater than 10,000 population.

CONTAMINANT	CAS #	RESULT (µg/l)	EPA METHOD	LAB MDL (µg/l)	BLANK RESULT (µg/l)
Chloroform	67-66-3	BDL	524.2	0.5	BDL
Bromodichloromethane	75-27-4	BDL	524.2	0.5	BDL
Chlorodibromomethane	124-48-1	BDL	524.2	0.5	BDL
Bromoform	75-25-2	BDL	524.2	0.5	BDL

**REGULATED ORGANIC CHEMICALS—VOC's**

CONTAMINANT	CAS #	RESULT (µg/l)	MCL (µg/l)	EPA METHOD	LAB MDL (µg/l)	BLANK RESULT (µg/l)
1,1-Dichloroethylene	75-35-4	BDL	7	524.2	0.5	BDL
1,1,1-Trichloroethane	71-55-6	BDL	200	524.2	0.5	BDL
1,1,2-Trichloroethane	79-00-5	BDL	5	524.2	0.5	BDL
1,2-Dichloroethane	107-06-2	BDL	5	524.2	0.5	BDL
1,2-Dichloropropane	78-87-5	BDL	5	524.2	0.5	BDL
1,2,4-Trichlorobenzene	120-82-1	BDL	70	524.2	0.5	BDL
Benzene	71-43-2	BDL	5	524.2	0.5	BDL
Carbon tetrachloride	56-23-5	BDL	5	524.2	0.5	BDL
Cis-1,2-Dichloroethylene	156-59-2	BDL	70	524.2	0.5	BDL
Dichloromethane	75-09-2	BDL	5	524.2	0.5	BDL
Ethylbenzene	100-41-4	BDL	700	524.2	0.5	BDL
Monochlorobenzene	108-90-7	BDL	100	524.2	0.5	BDL
o-Dichlorobenzene	95-50-1	BDL	600	524.2	0.5	BDL
Para-Dichlorobenzene	106-46-7	BDL	75	524.2	0.5	BDL
Styrene	100-42-5	BDL	100	524.2	0.5	BDL
Tetrachloroethylene	127-18-4	BDL	5	524.2	0.5	BDL
Toluene	108-88-3	BDL	1,000	524.2	0.5	BDL
Trans-1,2-Dichloroethylene	156-60-5	BDL	100	524.2	0.5	BDL
Trichloroethylene	79-01-6	BDL	5	524.2	0.5	BDL
Vinyl Chloride	75-01-4	BDL	2	524.2	0.5	BDL
Xylenes (total)	1330-20-7	BDL	10,000	524.2	0.5	BDL

**REGULATED ORGANIC CHEMICALS—SOC's**

CONTAMINANT	CAS #	RESULT (µg/l)	MCL (µg/l)	EPA METHOD	LAB MDL (µg/l)	BLANK RESULT (µg/l)
Dioxin	1746-01-6	NT	0.00003	-	-	NT
2,4-D	94-75-7	BDL	70	515.1	0.25	BDL
2,4,5-TP	93-72-1	BDL	50	515.1	0.25	BDL
Alachlor	15972-60-8	BDL	2	507	0.25	BDL
Atrazine	1912-24-9	BDL	3	507	0.25	BDL
Benzo(a)pyrene	50-32-8	BDL	0.2	525.2	0.2	BDL
Carbofuran	1563-66-2	BDL	40	531.1	1.5	BDL
Chlordane	57-74-9	BDL	2	508	0.01	BDL
Dalapon	75-99-0	BDL	200	515.1	0.25	BDL
Dibromochloropropane	96-12-8	BDL	0.2	504.1	0.05	BDL
Dinoseb	85-85-7	BDL	7	515.1	0.25	BDL
Diquat	85-00-7	BDL	20	549.2	1	BDL

## REGULATED ORGANIC CHEMICALS—SOC's (CONT.)

CONTAMINANT	CAS #	RESULT (µg/l)	MCL (µg/l)	EPA METHOD	LAB MDL (µg/l)	BLANK RESULT (µg/l)
Di(2-ethylhexyl)adipate	103-23-1	BDL	400	525.2	0.5	BDL
Di(2-ethylhexyl)phthalate	117-81-7	BDL	6	525.2	0.5	BDL
Endothall	145-73-3	BDL	100	548.1	10	BDL
Endrin	72-20-8	BDL	2	508	0.01	BDL
Ethylene dibromide	106-93-4	BDL	0.05	504.1	0.05	BDL
Glyphosphate	1071-53-6	NT	700	-	-	NT
Heptachlor	76-44-8	BDL	0.4	508	0.01	BDL
Heptachlor epoxide	1024-57-3	BDL	0.2	508	0.01	BDL
Hexachlorobenzene	118-74-1	BDL	1	508	0.01	BDL
Hexachlorocyclopentadiene	77-47-4	BDL	50	508	0.025	BDL
Lindane	58-89-9	BDL	0.2	508	0.01	BDL
Methoxychlor	72-43-5	BDL	40	508	0.01	BDL
Oxamyl	23135-22-0	BDL	200	531.1	2	BDL
Pentachlorophenol	87-86-5	BDL	1	515.1	0.25	BDL
Picloram	1918-02-1	BDL	500	515.1	0.25	BDL
Polychlorinated biphenyls	1336-36-3	BDL	0.5	508	0.25	BDL
Simazine	122-34-9	BDL	4	507	0.25	BDL
Toxaphene	8001-35-2	BDL	3	508	0.31	BDL

## UNREGULATED ORGANIC CHEMICALS—SOC's

CONTAMINANT	CAS #	RESULT (µg/l)	EPA METHOD	LAB MDL (µg/l)	BLANK RESULT (µg/l)
3-Hydroxycarbofuran	(Unk)	BDL	531.1	2	BDL
Aldicarb	116-06-3	BDL	531.1	1	BDL
Aldicarb sulfone	1646-87-4	BDL	531.1	2	BDL
Aldicarb sulfoxide	1646-87-3	BDL	531.1	2	BDL
Aldrin	309-00-2	BDL	508	0.01	BDL
Butachlor	23814-66-9	BDL	507	0.25	BDL
Carbaryl	63-25-2	BDL	531.1	2	BDL
Dicamba	1989-00-9	BDL	515.1	0.25	BDL
Dieldrin	60-57-1	BDL	508	0.01	BDL
Methomyl	16752-77-5	BDL	531.1	1	BDL
Metolachlor	51218-45-2	BDL	507	0.25	BDL
Metribuzin	21087-64-9	BDL	507	0.25	BDL
Propachlor	1918-16-7	BDL	507	0.25	BDL

## UNREGULATED ORGANIC CHEMICALS—VOC's

CONTAMINANT	CAS #	RESULT (µg/l)	EPA METHOD	LAB MDL (µg/l)	BLANK RESULT (µg/l)
1,1-Dichloroethane	75-34-3	BDL	524.2	0.5	BDL
1,1-Dichloropropene	563-58-6	BDL	524.2	0.5	BDL
1,1,1,2-Tetrachloroethane	630-20-6	BDL	524.2	0.5	BDL
1,1,2,2-Tetrachloroethane	79-34-5	BDL	524.2	0.5	BDL
1,2,3-Trichlorobenzene	87-61-6	BDL	524.2	0.5	BDL
1,2,3-Trichloropropane	96-18-4	BDL	524.2	0.5	BDL

## UNREGULATED ORGANIC CHEMICALS—VOC's (CONT.)

CONTAMINANT	CAS #	RESULT (µg/l)	EPA METHOD	LAB MDL (µg/l)	BLANK RESULT (µg/l)
1,2,4-Trimethylbenzene	95-63-6	BDL	524.2	0.5	BDL
1,3-Dichloropropane	142-28-9	BDL	524.2	0.5	BDL
1,3-Dichloropropene	542-75-6	BDL	524.2	0.5	BDL
1,3,5-Trimethylbenzene	108-67-8	BDL	524.2	0.5	BDL
2,2-Dichloropropane	590-20-7	BDL	524.2	0.5	BDL
Bromobenzene	108-86-11	BDL	524.2	0.5	BDL
Bromochloromethane	74-97-5	BDL	524.2	0.5	BDL
Bromomethane	74-96-4	BDL	524.2	0.5	BDL
Chloroethane	75-00-3	BDL	524.2	0.5	BDL
Chloromethane	74-87-3	BDL	524.2	0.5	BDL
Dibromomethane	74-95-3	BDL	524.2	0.5	BDL
Dichlorodifluoromethane	75-71-8	BDL	524.2	0.5	BDL
Fluorotrichloromethane	75-69-4	BDL	524.2	0.5	BDL
Hexachlorobutadiene	87-66-3	BDL	524.2	0.5	BDL
Isopropylbenzene	98-82-2	BDL	524.2	0.5	BDL
m-Dichlorobenzene	541-73-1	BDL	524.2	0.5	BDL
Naphthalene	91-20-3	BDL	524.2	0.5	BDL
n-Butylbenzene	104-51-8	BDL	524.2	0.5	BDL
n-Propylbenzene	103-65-1	BDL	524.2	0.5	BDL
o-Chlorotoluene	95-49-8	BDL	524.2	0.5	BDL
p-Chlorotoluene	106-43-4	BDL	524.2	0.5	BDL
p-Isopropyltoluene	25155-15-1	BDL	524.2	0.5	BDL
Sec-Butylbenzene	135-98-8	BDL	524.2	0.5	BDL
Tert-Butylbenzene	98-06-6	BDL	524.2	0.5	BDL

Codes used:

NT = Not tested for compound.

B = The analyte is found in the associated blank as well as in the sample.

µg/l = Micrograms per liter.

MCL = Maximum Contaminant Level.

BDL = Indicates that the compound was analyzed for, but was below the LAB MDL.

LAB MDL = Laboratory Method Detection Limit.

*Carl M. Smith*  
 Reviewed and approved by

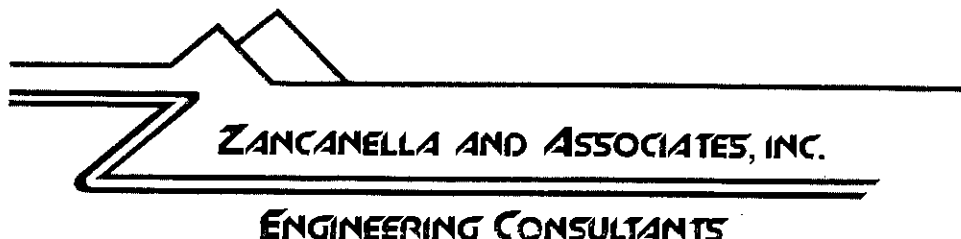
*Technical Director*  
 Title

*8/20/01*  
 Date

MAIL RESULTS TO: Colorado Department of Public Health and Environment, WQCD-DW-02, 4300 Cherry Creek Drive South, Denver, CO, 80222-1530



P.O. Box 1908  
1005 Cooper Ave.  
Glenwood Springs,  
CO 81602



(970) 945-5700  
(970) 945-1253 Fax

October 21, 2003

Mr. Kevin Schneider  
Rock Gardens MHP & Campground  
1308 County Road 129  
Glenwood Springs, CO 81601

**RE: Plans for Water System Upgrade**

Dear Kevin:

Attached are the plans for the potable water system upgrade. We have given a copy of the plans to Raun Samuelson and he is working on a cost estimate. When we receive your approval, we will order the two 10,000 gallon storage tanks and forward the plans and water quality data to the Colorado Department of Public Health and Environment.

If you have any questions please call our office at (970) 945-5700.

Very truly yours,

**Zancanella & Associates, Inc.**

Thomas A. Zancanella  
Thomas A. Zancanella, P.E.

Attachments

cc: Ron Liston

Z:\20000\20739 Rock Gardens\water system\Schneider-UpgradePlans.doc

# **ROCK GARDENS MOBILE HOME PARK AND CAMPGROUND**

## **WATER SYSTEM CONSTRUCTION APPROVAL APPLICATION**

For Submittal to the  
COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT  
WATER QUALITY CONTROL DIVISION  
222 SOUTH SIXTH STREET, SUITE 232  
GRAND JUNCTION, CO 81501-2768

By  
Rock Gardens Mobile Home Park and Campground, LLC  
c/o  
Zancanella and Associates, Inc.  
1005 Cooper Avenue  
Glenwood Springs, Colorado 81601  
Phone (970) 945-5700  
Fax (970) 945-1253

September 2003

## CONTENTS

Water System Construction Approval Application .....	SECTION A
Detailed Plans and Specifications .....	SECTION B
Project Summary .....	SECTION C
Design Calculations, Pump Test Results and Well Information.....	SECTION D
Well Construction Details.....	SECTION E
Flood Plain Certificate.....	SECTION F
Inventory Form.....	SECTION G
Chemical Analysis .....	SECTION H
Lead and Copper Assessment .....	SECTION I
Managerial Plan.....	SECTION J
Financial Plan .....	SECTION K

SECTION A

WATER SYSTEM CONSTRUCTION APPROVAL  
APPLICATION

WATER QUALITY CONTROL DIVISION  
WATER QUALITY PROTECTION SECTION  
WQCD-TS-B2 - Technical Services Unit  
4300 CHERRY CREEK DRIVE SOUTH  
DENVER, CO 80222-1530  
(303) 692-3500

PWSID # 123685  
(For Department Use)

## APPLICATION FOR CONSTRUCTION APPROVAL

System Name Rock Gardens Mobile Home Park and Campground

System Type (e.g. sole proprietorship, partnership, corporation, mutual, government agency) Rock Gardens Mobile Home Park and Campground, LLC

Address 1308 County Road 129 Phone Number ( 970 ) 945-6737

City Glenwood Springs, CO Zip Code 81601

Official/Owner Kevin B. Schneider Title Owner

Address 1308 County Road 129 Phone Number ( 970 ) 945-6737

City Glenwood Springs, CO Zip Code 81601

Contact Person Kevin B. Schneider Phone Number ( 970 ) 945-6737

Consulting Engineering Company Zancanella and Associates, Inc.

Project Engineer Thomas A. Zancanella, P.E. CO License # 20481

Address 1005 Cooper Avenue Phone Number ( 970 ) 945-5700

City Glenwood Springs State CO Zip Code 81601

Estimated total project cost \$ N/A

Estimated bid opening date N/A Estimated completion date N/A

Estimated Size 0.027 (MGD) Estimated population served 270 Max

# of Taps 140

**Source Water Information** (Provide the following information for all sources):

Surface Water Source

Name(s) N/A.

Groundwater Aquifer

Name(s) Rock Gardens Wells #1 - #1A.

Identify All Domestic and Industrial Water Discharges Five Miles Upstream (Surface Water) or within a 2.5 mile radius of the source (Ground Water). Attach a 7.5 minute USGS topographic map showing water source(s), discharges, and potential contamination sources.

If a Well, What Is the Total Well Depth? 125'(Well #1), 200'(Well #1A)

First Draw Depth at Perforated Casing? Unknown(Well #1), 110'(Well #1A)

Source Water Location(s) Latitude 39° 33.6'N Longitude 107° 17.6' (Well #1)

Latitude 39° 33.6'N Longitude 107° 17.6' (Well #1A)

Location of Water Treatment Facility

Latitude 39° 33.6' N Longitude 107° 17.6' W

Distance from Nearest Incorporated Town or City 2 miles from Glenwood Springs

Direction of Nearest Incorporated Town or City Southwest.

Approval by County Health Department:

Signature \_\_\_\_\_ Title \_\_\_\_\_ Date \_\_\_\_\_

Approval by Local Health and Environment Department:

Signature \_\_\_\_\_ Title \_\_\_\_\_ Date \_\_\_\_\_

System Legal Representative:

Signature \_\_\_\_\_ Title \_\_\_\_\_ Date \_\_\_\_\_

Owner's Signature \_\_\_\_\_ Date \_\_\_\_\_

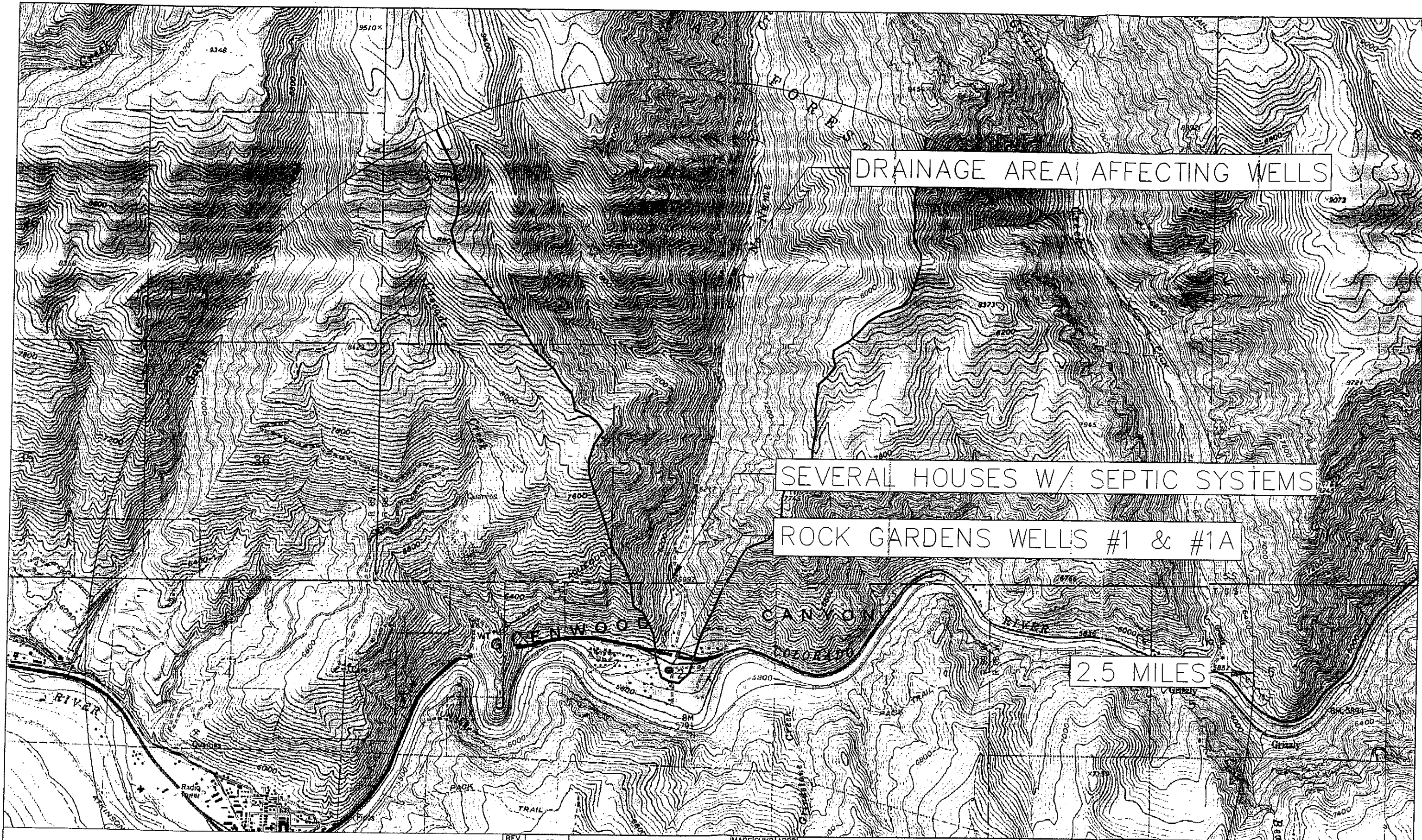
Date of last revision: 9/24/03

**Documents Attached:**

**NOTE: THE DEPARTMENT CANNOT MAKE A FINAL DECISION UNTIL ALL DOCUMENTS HAVE BEEN SUBMITTED.**

Plans and Specifications	(Yes/No) <u>Yes</u>	If No, date to be submitted
Project Summary	(Yes/No) <u>Yes</u>	If No, date to be submitted
Design Calculations	(Yes/No) <u>Yes</u>	If No, date to be submitted
Well Construction Details	(Yes/No) <u>Yes</u>	If No, date to be submitted
Water Rights Certification	(Yes/No) <u>Yes</u>	If No, date to be submitted
County and Local Health Approval*	(Yes/No) <u>Yes</u>	If No, date to be submitted
Flood Plain Certificate*	(Yes/No) <u>Yes</u>	If No, date to be submitted
Inventory Form*	(Yes/No) <u>Yes</u>	If No, date to be submitted
Chemical Analysis*	(Yes/No) <u>Yes</u>	If No, date to be submitted
Lead & Copper Assessment	(Yes/No) <u>Yes</u>	If No, date to be submitted
Managerial Plan	(Yes/No) <u>Yes</u>	If No, date to be submitted
Financial Plan	(Yes/No) <u>Yes</u>	If No, date to be submitted

\* Forms included in this manual.



REV. NO.	DATE	REVISION	MADE BY	CHKD BY	APPD BY

2.5 MILE RADIUS MAP

SCALE: 1" = 2000'

DATE: SEPT. 12, 2003

SHEET: 1 OF 1

DRAWN BY: BCP

CHKD BY: BCP

APPD BY: TAZ

DRAWING: Vulnerability.dwg

ROCK GARDENS

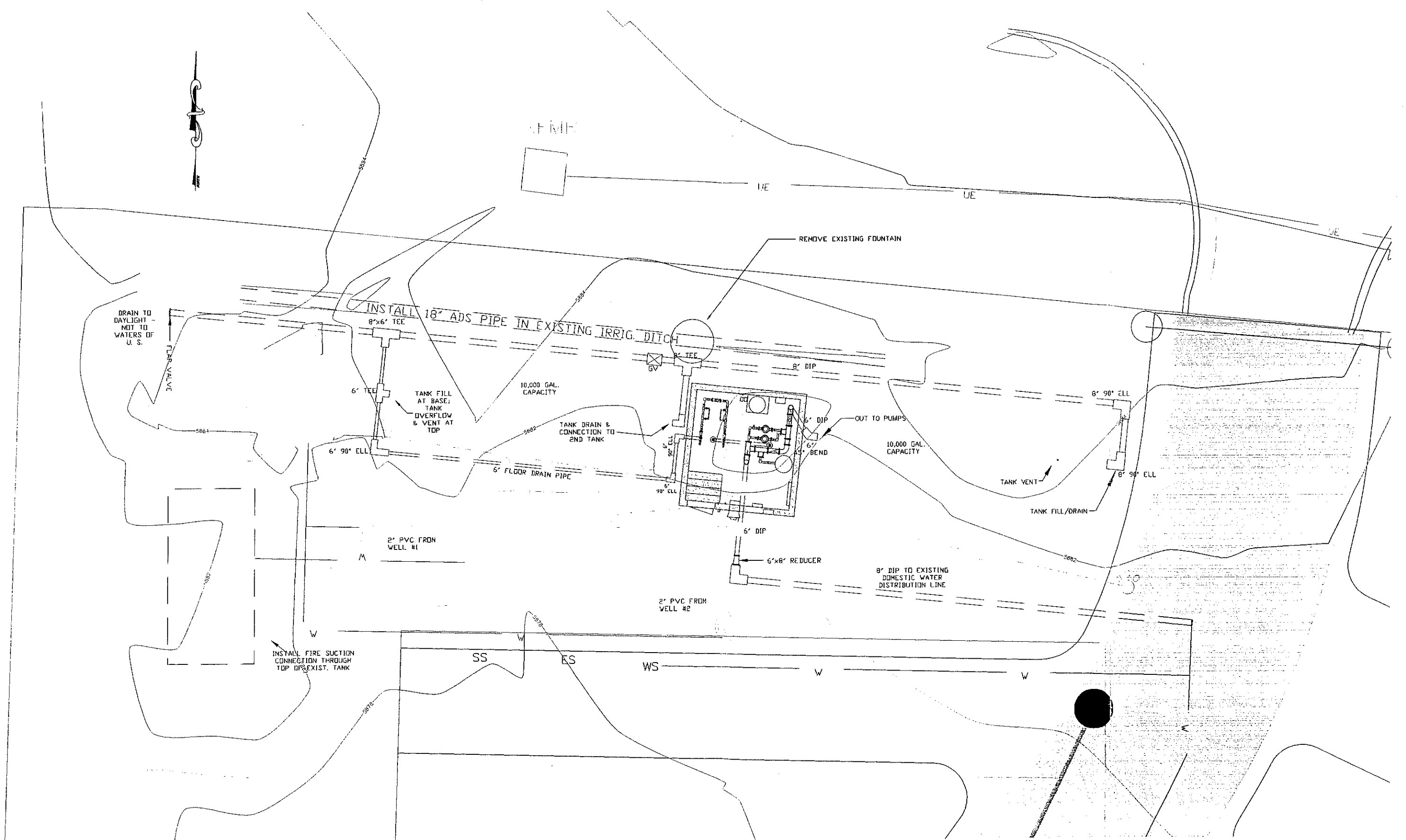
ZANCANELLA AND ASSOCIATES, INC.  
ENGINEERING CONSULTANTS  
POST OFFICE BOX 1908 - 1005 COOPER AVENUE  
GLENWOOD SPRINGS, COLORADO 81602 (970) 945-5700

FIGURE NO.

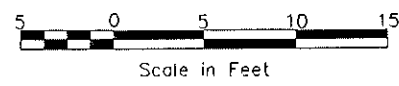
**VA**

PROJECT: 20739





**PLAN VIEW**



TANKS & PUMP HOUSE BUILDING			
SCALE: 1" = 5'	DATE: OCTOBER 21, 2003	SHEET 1 OF 1	
DRAWN BY: BCP	CHKD BY: TAZ	APPD BY: TAZ	PLAN NO. 2013RumpHouse2.dwg

	<b>ROCK GARDENS RECREATION</b>	SHEET NO. <b>W 1</b>
	ZANCANELLA AND ASSOCIATES, INC. ENGINEERING CONSULTANTS POST OFFICE BOX 1908 - 1005 COOPER AVENUE GLENWOOD SPRINGS, COLORADO 81602 (970) 945-5700	
	PROJECT: 20739	



## SECTION C

# PROJECT SUMMARY

# **Project Summary**

## **Rock Gardens Mobile Home Park and Campground**

### **Water System**

**(PWSID# 123685)**

#### **Introduction**

Rock Gardens is approximately a 17 acre tract located in the center portion of Section 2, Township 6 South, Range 89 West of the 6<sup>th</sup> P.M. as shown on the Project Location Map, Figure 1. The subject property is located generally south and east of the village of No Name, on the south side of, and adjacent to, Interstate 70. The existing mobile home park and campground currently consist of cabins, mobile homes, RV spaces, summer camp sites, single family dwellings and other buildings associated with the camping and river rafting industry. Water service is provided by 2 wells and wastewater is currently served by septic tanks and leach fields. Rock Gardens Campground and Mobile Home Park, LLC proposes to expand the park to approximately 2 single family units, 11 camper cabins, 55 camper spaces, 51 RV spaces, 18 summer camp sites, a public flush toilet, a public faucet and a paper service snack bar. The plan calls for the construction of an onsite wastewater treatment plant and the discontinued use of the septic systems.

#### **Water Supply**

The system will be supplied by two wells, Rock Gardens Wells #1 and #1A, which have been drilled and tested. Well #1 has been supplying the park for several years. The application herein proposes to add Well #1A, two 10,000 gallons storage tanks and a pump house with water treatment equipment and related plumbing. Details about Well #1A, pump tests and spreadsheet calculations of the proposed development's estimated water requirements are located in Section D of this application. Chemical analyses from Well #1A are located in Section H.

#### **Flood Plain Certification**

Both wells are located outside of the 100 year flood plain. A 100 year flood plain certification is supplied in Section F.

#### **Water Treatment**

Disinfection is to be provided by injection of a sodium hypochlorite solution in the pump house. The solution is to be contained in a 55 gallon plastic container and injected by Pulsatron Series A chemical feed pumps (or equivalent), one for each well. Specifications for the mixing of the hypochlorite solution, for the chemical feed pump and for the rate of hypochlorite solution injection are contained in Section D of this application.

The system is designed to use multiple wells and chemical feed pumps for redundancy. The expected average system flow requirements can be met by using only one well and one chemical feed pump at a time. The use of the wells would be alternated at each pumping cycle. The system operator will have available a replacement chemical feed pump service kit. Should a problem develop requiring the replacement of a chemical feed pump, an alternate chemical feed pump will serve the needs of the system until the

replacement is completed. All hypochlorite solutions used for water treatment are to be NSF approved.

Upon leaving the pump house, the treated water will enter two 10,000 gallon storage tanks. The tanks will act as chlorine contact chambers, which will provide adequate chlorine contact time before the water reaches the first tap. The chlorine contact time calculations are also presented in Section D of this application.

### **Water Storage**

Treated water is to be pumped to two 10,000 gallon buried storage tanks to be installed near the wells and pump house. Design specifications and drawings are shown in Section B of this application.

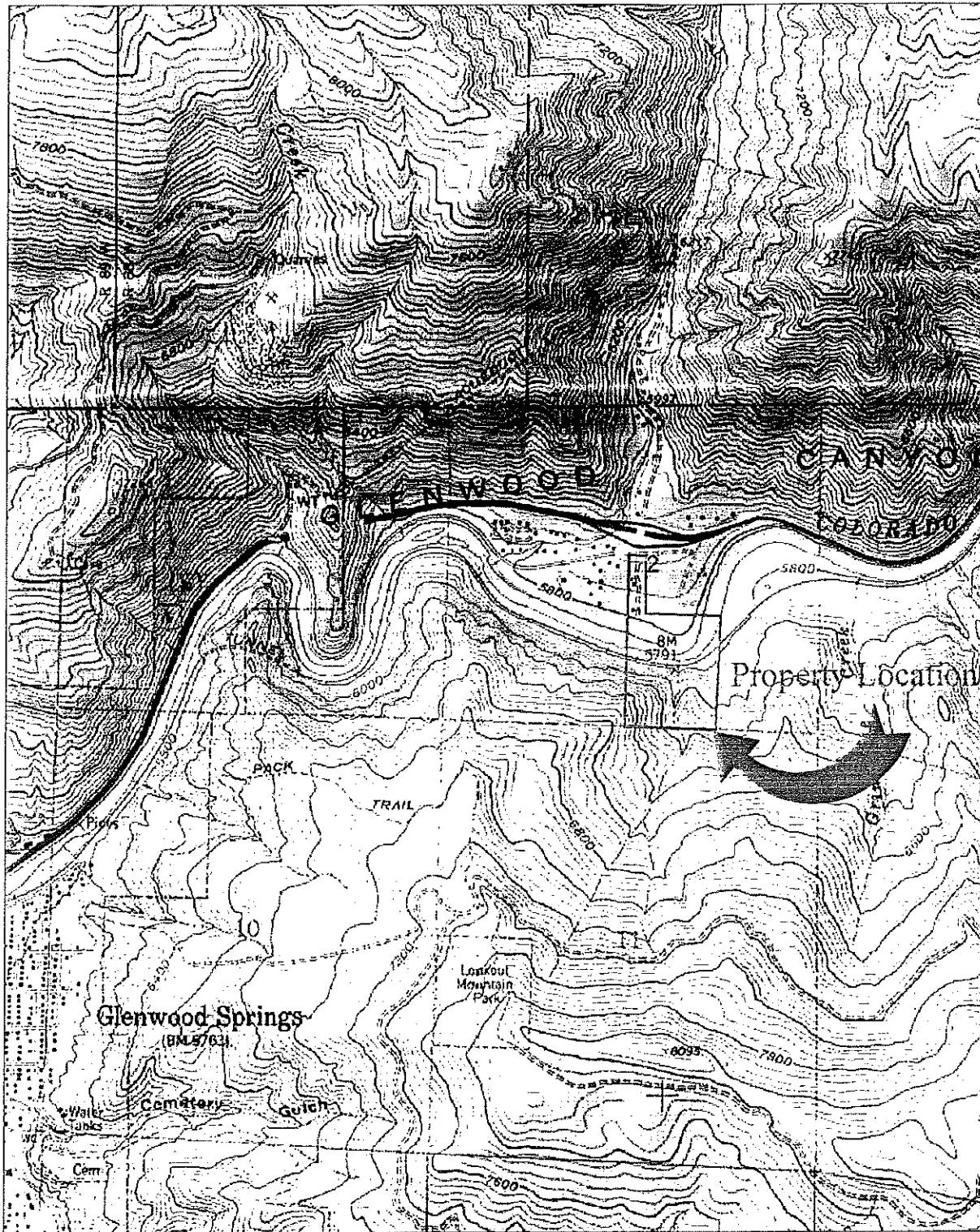
### **Water Quality**

During the pump test of Well #1A, samples were collected and shipped to Evergreen Analytical Labs in Wheat Ridge, Colorado. The samples were tested for Coliform Bacteria, Inorganic Chemicals (IOCs), Volatile Organic Chemicals (VOCs), Synthetic Organic Chemicals (SOCs), radiological properties (gross alpha and beta) and various physical properties of the water. Since the well screens in the wells were set at a depth greater than 100 feet, no microscopic particulate analyses (MPAs) were collected. The results of the tests that were performed are included in Section H of this application. The lead and copper assessment is located in Section I.

## SECTION D


DESIGN CALCULATIONS  
PUMP TEST RESULTS  
WELL INFORMATION

R89W



T6S



PROJECT LOCATION MAP				ROCK GARDENS		FIGURE NO. <b>1</b>
SCALE: 1" = 2000'	DATE: SEPT. 4, 2003	SHEET: 1 OF 1		 <b>ZANCANELLA AND ASSOCIATES, INC.</b> <b>ENGINEERING CONSULTANTS</b> POST OFFICE BOX 1908 - 1005 COOPER AVENUE GLENWOOD SPRINGS, COLORADO 81602 (970) 945-5700		PROJECT: 20739
DRAWN BY: BCP	CHKD BY: BCP	APPD BY: TAZ	DRAWING: LocTopo2.dwg			

**Table 1**  
**Rock Gardens (proposed conditions)**  
**Estimated Water Requirements - Rock Gardens**  
**Water Use Inputs**

Domestic Demands		Commercial Demands				Other Demands	
# of EQRs	66.3 EQRs	# of Commercial EQR	10.0				
# persons/EQR	3.5 cap/unit	# persons/EQR	3.5				
# gallons/person/day	100 gpcd	# gallons/person/day	100 gpcd				
Percent Consumed	5%	Percent Consumed	5%				
Lawn Irrigation	0 sq-ft/unit	Lawn Irrigation	0 sq-ft/unit				
Application Efficiency	80%	Application Efficiency	80%			Irrigated Open Space	2.00 acres
Crop Irrig reqmnt (CIR)	2.07 ft	Crop Irrig reqmnt (CIR)	2.07 ft			Application Efficiency	80%
						Crop Irrig reqmnt (CIR)	2.07 ft

**Water Use Calculations**

Diversion Requirements													Consumptive Use										
Month	(1)		(2)		(3)		(4)		(5)		(6)		(7)		(8)		(9)		(10)		(11)		Total Lagged Depletions (ac-ft)
	Domestic In-house (ac-ft)	Commercial In-house (ac-ft)	Domestic In-house (ac-ft)	Commercial In-house (ac-ft)	Open Space Irrigation (ac-ft)	Open Space Irrigation (ac-ft)	Total (ac-ft)	Average Flow (gpm)	Domestic In-house (ac-ft)	Commercial In-house (ac-ft)	Open Space Irrigation (ac-ft)	Total (ac-ft)	5% loss	Depletion Factors (%)	Plus	Total (ac-ft)	5% loss	Depletion Factors (%)					
Jan	2,206	0.33			0.00		2.54	18.5	0.110	0.02		0.00	0.13	0.13	8.60%		0.13	0.13	8.60%		0.51		
Feb.	1,992	0.30			0.00		2.29	18.5	0.100	0.02		0.00	0.11	0.12	8.60%		0.11	0.12	8.60%		0.51		
Mar	2,206	0.33			0.00		2.54	18.5	0.110	0.02		0.00	0.13	0.13	8.50%		0.13	0.13	8.50%		0.50		
APR	2,134	0.32			0.00		2.46	18.5	0.107	0.02		0.00	0.12	0.13	8.30%		0.12	0.13	8.30%		0.49		
May	2,206	0.33			1.00		3.54	25.8	0.110	0.02		0.80	0.93	0.97	8.20%		1.12	1.18	8.00%		0.49		
Jun	2,134	0.32			1.25		3.71	28.0	0.107	0.02		1.00	1.07	1.12	7.90%		1.07	1.12	7.90%		0.47		
Jul.	2,206	0.33			1.18		3.71	27.1	0.110	0.02		0.94	0.83	0.87	8.00%		0.83	0.87	8.00%		0.47		
Aug.	2,206	0.33			0.88		3.41	24.9	0.110	0.02		0.70	0.66	0.70	8.20%		0.66	0.70	8.20%		0.49		
Sep	2,134	0.32			0.68		3.13	23.6	0.107	0.02		0.54	0.29	0.30	8.40%		0.29	0.30	8.40%		0.50		
Oct	2,206	0.33			0.20		2.74	20.0	0.110	0.02		0.16	0.12	0.13	8.60%		0.12	0.13	8.60%		0.51		
Nov.	2,134	0.32			0.00		2.46	18.5	0.107	0.02		0.00	0.13	0.13	8.80%		0.13	0.13	8.80%		0.52		
DEC	2,206	0.33			0.00		2.54	18.5	0.110	0.02		0.00											
Annual	25,969	3.92			5.18		35.06	21.71	1.30	0.20		4.14	5.63	5.92	1.00		5.63	5.92	1.00		5.92		

Depletion Factors based on SEO Glover Calculation ( T= 50000 gpd/ft, S 0.02, D= 750 ft to wells and 1400 ft to bounde  
Only Wells 1 & 2 are lagged. Well 3 is within 100 feet of the stream and thus requires  
no lagging.

Accounting to be provided each year to SEO



Table 2  
**Pump Test Data**

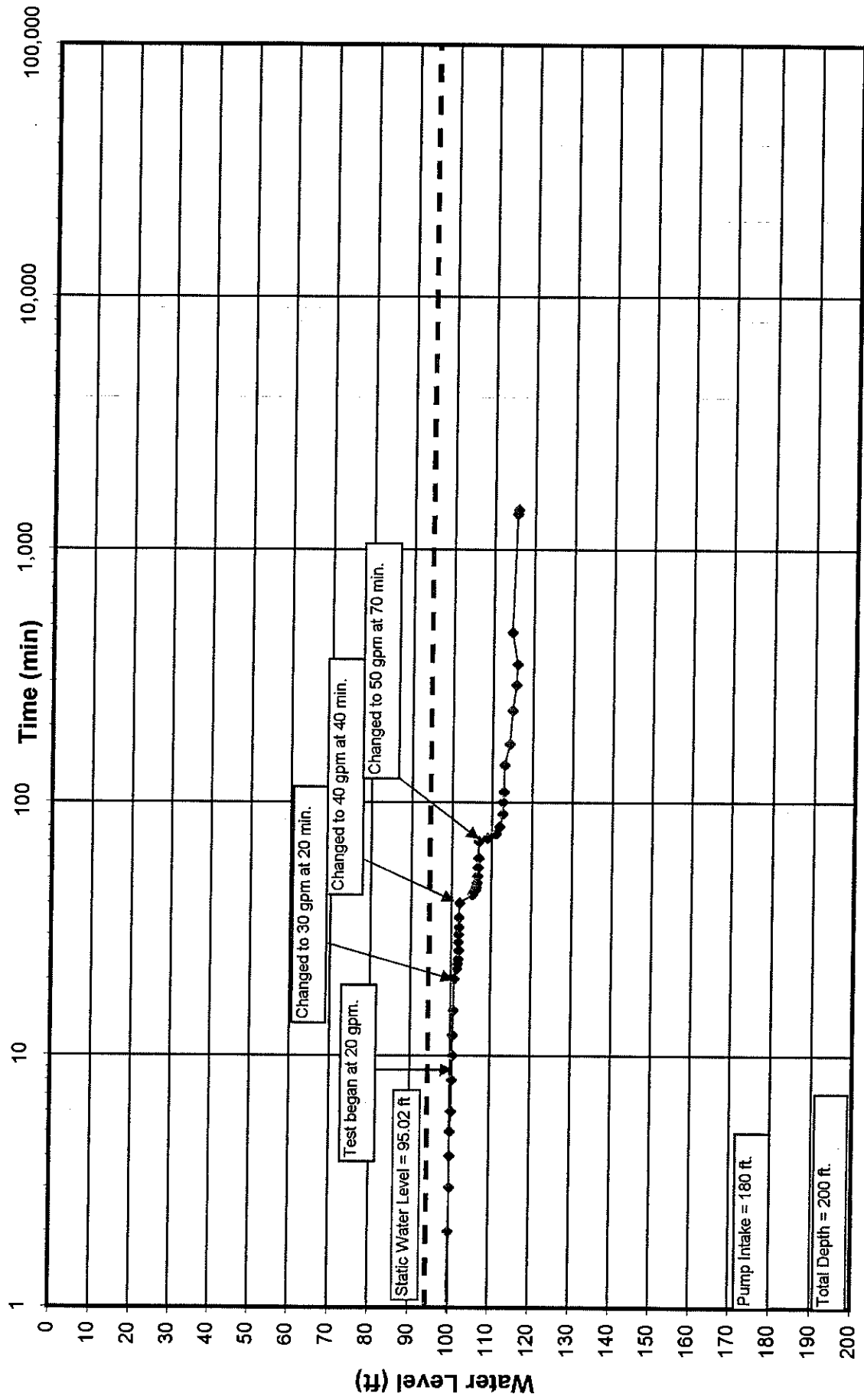
Well ID: Rock Gardens Well # 1A

Job No.: 20739  
Client: Rock Gardens  
Test By: Samuelson  
Analysis By: BCP  
M.P. =

Q = 50 gpm  
r = ft  
S.W.L. = 95.02 ft  
b = ft  
Time/Date on: 7/31/01 11:00 AM  
Time/Date off: 8/1/01 11:00 AM projected  
Test Length: 24:00:00 total time

REAL TIME	Time (minutes)	W.L. Measurement		Drawdown (feet)	Q (gpm)	t' (minutes)	t/t'
		(feet)	(inches)				
7/31/01 11:00 AM	0	95	0.25	SWL	20		
7/31/01 11:02 AM	2	99	9.75	4.79	20		
7/31/01 11:03 AM	3	100	0	4.98	20		
7/31/01 11:04 AM	4	100	1	5.06	20		
7/31/01 11:05 AM	5	100	1	5.06	20		
7/31/01 11:06 AM	6	100	3.75	5.29	20		
7/31/01 11:08 AM	8	100	5.75	5.46	20		
7/31/01 11:10 AM	10	100	6.5	5.52	20		
7/31/01 11:12 AM	12	100	7	5.56	20		
7/31/01 11:15 AM	15	100	8.5	5.69	20		
7/31/01 11:20 AM	20	100	10	5.81	30		
7/31/01 11:22 AM	22	101	5.5	6.44	30		
7/31/01 11:23 AM	23	101	8	6.65	30		
7/31/01 11:24 AM	24	101	9	6.73	30		
7/31/01 11:26 AM	26	101	11	6.90	30		
7/31/01 11:28 AM	28	101	9	6.73	30		
7/31/01 11:30 AM	30	101	9.75	6.79	30		
7/31/01 11:32 AM	32	101	10.25	6.83	30		
7/31/01 11:35 AM	35	101	11.25	6.92	30		
7/31/01 11:40 AM	40	101	11.5	6.94	40		
7/31/01 11:43 AM	43	105	1.75	10.13	40		
7/31/01 11:44 AM	44	105	5.25	10.42	40		
7/31/01 11:45 AM	45	105	10.5	10.85	40		
7/31/01 11:46 AM	46	106	0.25	11.00	40		
7/31/01 11:48 AM	48	106	3	11.23	40		
7/31/01 11:51 AM	51	106	4.25	11.33	40		
7/31/01 11:55 AM	55	106	6	11.48	40		
7/31/01 12:00 PM	60	106	7.75	11.63	40		
7/31/01 12:10 PM	70	106	8.25	11.67	50		
7/31/01 12:12 PM	72	108	10.5	13.85	50		
7/31/01 12:15 PM	75	110	11.5	15.94	50		
7/31/01 12:20 PM	80	111	9.25	16.75	50		
7/31/01 12:30 PM	90	112	5.5	17.44	50		
7/31/01 12:40 PM	100	112	6.75	17.54	50		
7/31/01 12:50 PM	110	112	8.75	17.71	50		
7/31/01 1:20 PM	140	112	11	17.90	50		
7/31/01 1:50 PM	170	114	0.75	19.04	50		
7/31/01 2:50 PM	230	114	8.75	19.71	50		
7/31/01 3:50 PM	290	115	6.75	20.54	50		
7/31/01 4:50 PM	350	115	10.25	20.83	50		
7/31/01 6:50 PM	470	114	6.25	19.50	50		
8/1/01 10:00 AM	1380	115	5.75	20.46	50		
8/1/01 11:00 AM	1440	115	8.25	20.67	50		
8/1/01 11:30 AM	1470	115	8.25	20.67	50		
8/1/01 11:31 AM	1471	101	11	6.90	Stopped Pumping	1	1471
8/1/01 11:32 AM	1472	99	9.25	4.75	0	2	736
8/1/01 11:33 AM	1473	99	0	3.98	0	3	491
8/1/01 11:34 AM	1474	98	9	3.73	0	4	369
8/1/01 11:35 AM	1475	98	4.5	3.35	0	5	295
8/1/01 11:36 AM	1476	98	1.25	3.08	0	6	246
8/1/01 11:38 AM	1478	97	8.25	2.67	0	8	185
8/1/01 11:40 AM	1480	97	5.25	2.42	0	10	148
8/1/01 11:42 AM	1482	97	2	2.15	0	12	124
8/1/01 11:45 AM	1485	96	11.25	1.92	0	15	99
8/1/01 11:50 AM	1490	96	8	1.65	0	20	75
8/1/01 12:00 PM	1500	96	4.25	1.33	0	30	50
8/1/01 12:10 PM	1510	96	1.25	1.08	0	40	38
8/1/01 12:20 PM	1520	95	11.75	0.96	0	50	30
8/1/01 12:30 PM	1530	95	10.5	0.85	0	60	26

**Figure 3**  
**24-Hour Pumping Test - 07/31/01 to 08/01/01**  
**Rock Gardens Well # 1A**



## ROCK GARDENS MOBILE HOME PARK & CAMPGROUND CONTROL OF HAZARDOUS CROSS-CONNECTIONS

The Rock Gardens water system or a consecutive distribution system shall have no uncontrolled cross-connections to a pipe, fixture, or supply, any of which contain water not meeting provisions of the drinking water regulations.

Water suppliers shall retain maintenance records of all containment devices. These records shall be available for inspection by the Colorado Department of Public Health and Environment personnel. All maintenance records shall be kept for three years.

Any water supplier shall notify the Rock Gardens management of any cross-connections, as defined by Section 1.2.2 (10) of the drinking water regulations, within 10 calendar days of its discovery. The cross-connection shall be corrected within 10 days of being ordered in writing by the Rock Gardens management to correct the problem. Failure to do so may result termination of water service.

## ROCK GARDENS MOBILE HOME PARK & CAMPGROUND CHLORINE SOLUTION MIXING AND INJECTION

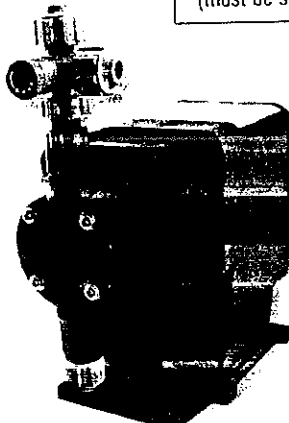
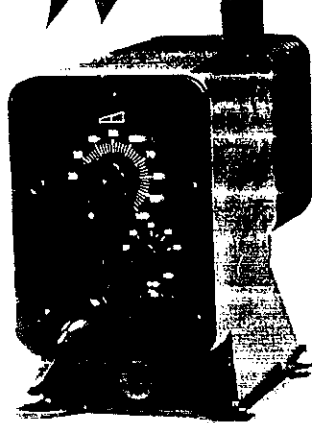
Rock Gardens Wells #1 and #1A are to be operated in a rotational fashion. System specifications call for the use of PULSAtron Series A Plus, or equivalent, chemical feed pumps to be used for hypochlorite solution injection. The attached cut sheet for the PULSAtron Series A Plus gives the specifications for this series of pump. Two chemical feed pumps, one for each well, are to be used to provide redundancy. They are to be wired so that they receive power when their respective well receives power. They will each run at one half the calculated rate (see below). In this manner, if one pump fails or loses its prime, the system will continue to receive chlorine disinfection.

The hypochlorite is to be mixed with water to form a 1% (10,000 mg/l) solution in the 55 gallon hypochlorite solution tank. Since Rock Gardens Wells #1 is anticipated to produce a maximum of 15 gpm or 21,600 gpd, the chemical feed pumps for this well will be set up to pump a total of 2.2 gpd, providing a finished water to the system containing approximately 1.0 mg/l of  $\text{Cl}_2$ . Rock Gardens Well #1A is projected to produce a maximum of 50 gpm or 72,000 gpd. Therefore this pump will be regulated to pump at a rate of 7.2 gpd.

Total chlorine and free chlorine are to be measured frequently and the chemical feed pumps are to be adjusted accordingly to maintain the proper chlorine residual in the distribution system. All hypochlorite solutions used for water treatment are to be NSF approved.

# CHEM FEED - LIQUID

**Chlorine  
& General**



## Quantity pricing!

Buy 2-3 pumps save 5%  
Buy 4 pumps save 10%  
(must be same model)

### PULSAtron® Series A Plus Pumps

- Excellent economical value

Pulsafeeder Series A Plus pumps are a great economical choice with features most of frequently asked for. These pumps are perfect for well applications where a reliable consistent chemical feed rate is needed.

All Series A Plus pumps come standard with an on/off switch and manual speed and stroke controls. UL listed for indoor and outdoor use. The sealed housing protects the pump in harsh environments.

Pumps include an injection check valve assembly, foot valve/strainer, suction valve, discharge valve, bleed valve, 4 ft PVC suction tubing, 8 ft polyethylene discharge tubing and 4 ft bleed valve return tubing. Repair kits include pump head, replacement diaphragm, seal, 4 pump head screws and check valves.

**Use with:** caustic, hydrochloric acid, potassium permanganate, sodium bisulfate and sodium hypochlorite (call for compatibility with other chemicals)

**Wetted materials:** head & fittings - 7<sup>th</sup> digit in pump model number - V = PVC, PTFE seats and o-rings, ceramic check balls, Teflon® faced diaphragm

**Maximum viscosity:** 1000 cP

**Suction lift:** 4 ft dry

**Duty cycle:** continuous

**Turndown ratio:** 100:1

**Metering accuracy:** ±3%

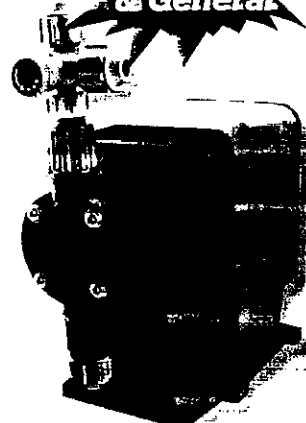
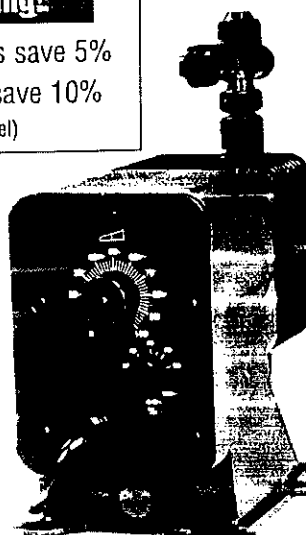
**Tubing size:** 1 = 3/8" O.D.

**Power:** 120 VAC, 50 watts (other voltages available)

**Shipping weight:** 10 lbs

MODEL #	GPD	PSI	STOCK #	EACH	KOPKIT	STOCK #	EACH
LB02SA-VTC1	6	150	45154	\$ 299.20	K2-VTC1	70567	\$ 64.12
LB03SA-VTC1	12	150	45156	299.20	K3-VTC1	70566	65.09
LB04SA-VTC1	22	100	45158	299.20	K4-VTC1	70565	74.88
LB64SA-VTC1	30	100	45160	299.20	K4-VTC1	70565	74.88

**Chlorine  
& General**



Series C Plus

### PULSAtron® Series C & C Plus Pumps

- Excellent economical value

Pulsafeeder Series C and C Plus pumps are well suited for simple systems that do not require flow pacing. Both series pumps feature a guided check valve system that reduces backflow and enhances the priming abilities.

The Series C pumps feature a fixed speed rate (strokes per minute) and a manually controlled stroke length to vary the output of the pump. The Series C Plus pumps feature both manual speed and stroke controls. UL listed for indoor and outdoor use.

Pumps include an injection check valve assembly, foot valve/strainer, suction valve, discharge valve, bleed valve, 4 ft PVC vinyl suction tubing, 8 ft polyethylene discharge tubing and 4 ft bleed valve return tubing. Repair kits include pump head, replacement diaphragm, seal, 4 pump head screws and check valves.

**Use with:** caustic, hydrochloric acid, potassium permanganate, sodium bisulfate and sodium hypochlorite (call for compatibility with other chemicals)

**Wetted materials:** head & fittings - 7<sup>th</sup> digit in pump model number - V = PVC, PTFE seats and o-rings, ceramic check balls, Teflon® faced diaphragm

**Maximum viscosity:** 1000 cP

**Suction lift:** 4 ft dry

**Duty cycle:** continuous

**Turndown ratio:** C = 5:1; C Plus = 100:1

**Metering accuracy:** ±3%

**Tubing size:** 1 = 3/8" O.D.

**Power:** 120 VAC, 50 watts (other voltages available)

**Shipping weight:** 10 lbs

#### SERIES C

MODEL #	GPD	PSI	STOCK #	EACH	KOPKIT	STOCK #	EACH
LC02SA-VTC1	6	80	47608	\$ 245.52	K2-VTC1	70567	\$ 64.12
LC03SA-VTC1	12	80	47608	245.52	K3-VTC1	70566	65.09
LC04SA-VTC1	22	80	47610	245.52	K4-VTC1	70565	74.88
LC54SA-VTC1	30	80	47612	245.52	K4-VTC1	70565	74.88

#### SERIES C PLUS

MODEL #	GPD	PSI	STOCK #	EACH	KOPKIT	STOCK #	EACH
LD02SA-VTC1	6	80	47615	\$ 273.68	K2-VTC1	70567	\$ 64.12
LD03SA-VTC1	12	80	47616	273.68	K3-VTC1	70566	65.09
LD04SA-VTC1	22	80	47617	273.68	K4-VTC1	70565	74.88
LD54SA-VTC1	30	80	47618	273.68	K5-VTC1	70565	74.88

## ROCK GARDENS MOBILE HOME PARK & CAMPGROUND CHLORINE CONTACT TIME CALCULATIONS

The chlorine contact time calculations below are based on the CDPHE's required minimum contact time of 30 minutes and an anticipated combined maximum flow rate from the two wells of 65 gpm. The contact chamber will be the two 10,000 gallon storage tanks between the point where chlorine is added to the system and the first tap. This configuration will have an actual to theoretical (A/T) credit of 0.3. The calculation follows:

$$\frac{65 \text{ gal. max.}}{\text{min.}} \times \frac{30 \text{ min.}}{0.3 \text{ A/T Credit}} = 6500 \text{ gallons}$$

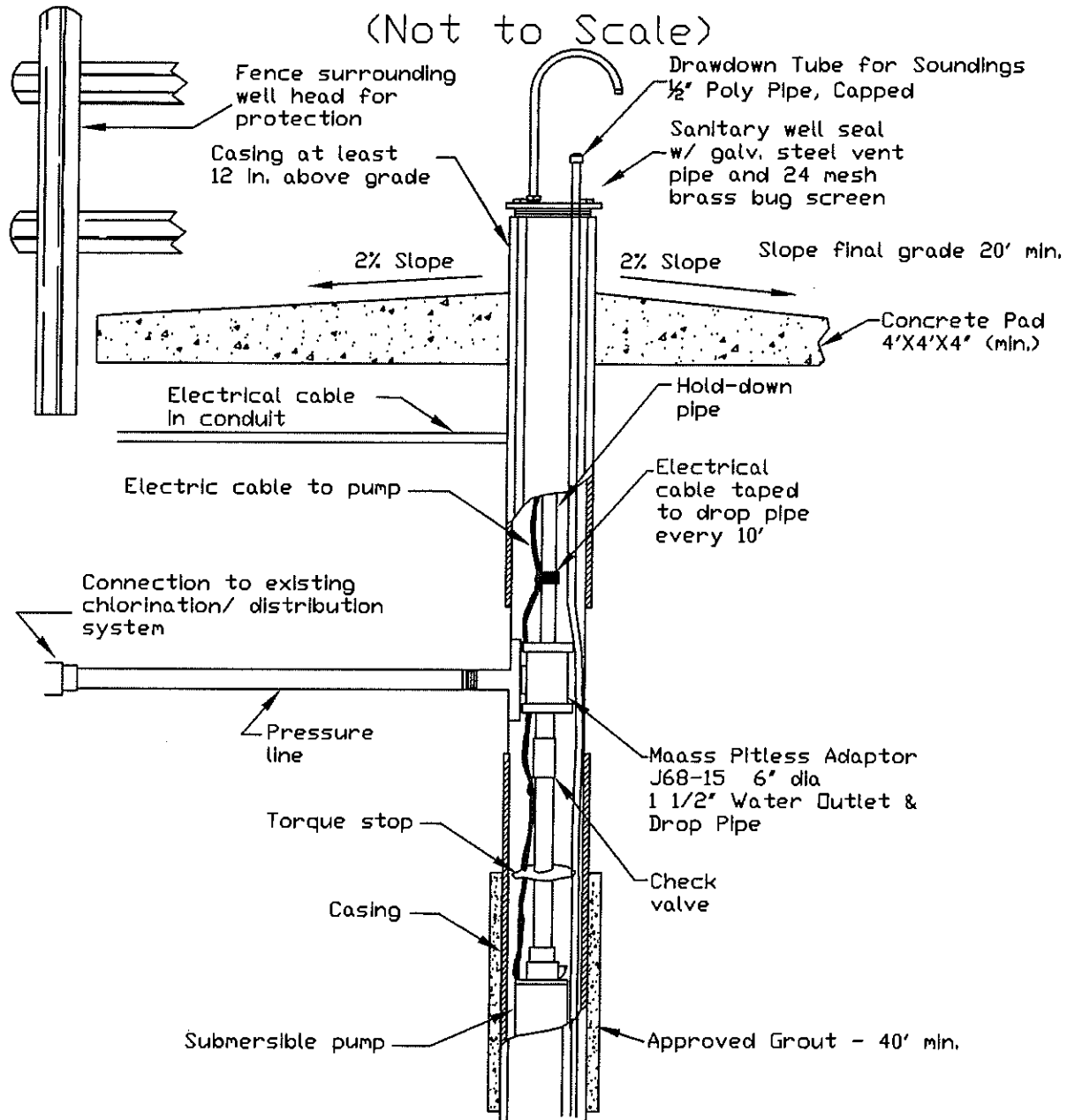
The Rock Gardens system, with 20,000 gallons of proposed storage, should easily meet the 30 minute contact time requirement.

## SECTION E

# WELL CONSTRUCTION DETAILS

# WELL HEAD DETAIL

(Not to Scale)



WELL HEAD DETAIL

ROCK GARDENS MOBILE HOME  
PARK AND CAMPGROUND

FIGURE NO.

**WH**

SCALE: NOT TO SCALE	DATE: SEPT. 5, 2003	SHEET: 1 OF 1
DRAWN BY: ---	CHKD BY: ---	APPD BY: ---
DRAWING: WellHeadDetail.dwg		

**ZANCANELLA AND ASSOCIATES, INC.**  
ENGINEERING CONSULTANTS  
POST OFFICE BOX 1906 - 1005 COOPER AVENUE  
GLENWOOD SPRINGS, COLORADO 81602 (970) 945-5700

PROJECT: 20739

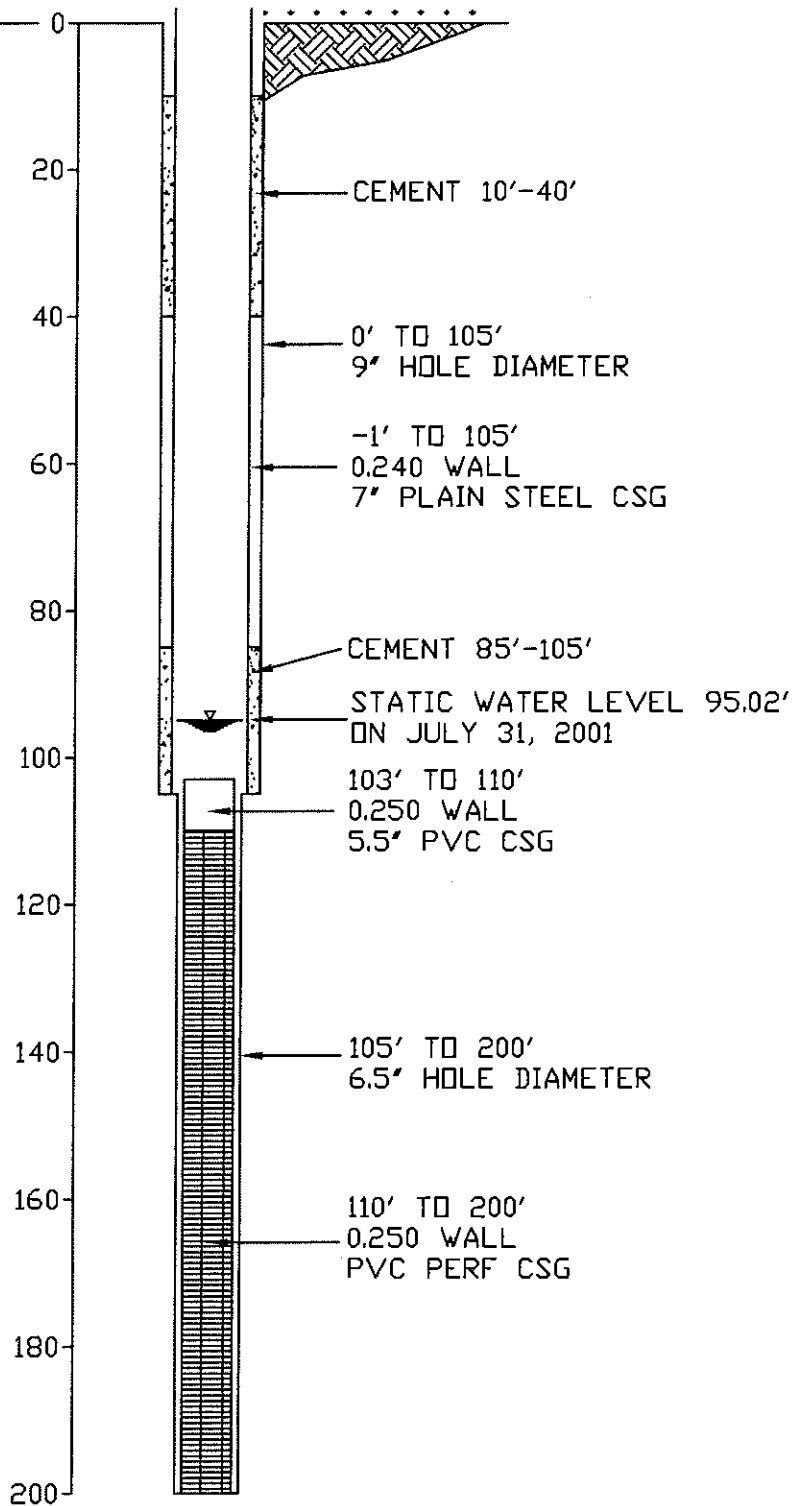


GROUND  
LEVEL

Dirt, Rock,  
Boulders

Mississippian  
Leadville  
Limestone

TOTAL DEPTH  
200'



# WELL #1A WELL DETAIL

ROCK GARDENS

FIGURE NO.

2

SCALE:  
NOT TO SCALE

DATE:  
SEPT. 4, 2003

SHEET  
1 OF 1

DRAWN BY:  
BCP

CHKD BY:  
BCP

APPD BY:  
TAZ

PLAN NO.  
WellDetail-1A.dwg

**ZANCANELLA AND ASSOCIATES, INC.**  
**ENGINEERING CONSULTANTS**  
POST OFFICE BOX 1908 - 1005 COOPER AVENUE  
GLENWOOD SPRINGS, COLORADO 81602 (970) 945-3700

PROJECT: 20739

# WELL CONSTRUCTION AND TEST REPORT

STATE OF COLORADO, OFFICE OF THE STATE ENGINEER

FOR OFFICE USE ONLY

1. WELL PERMIT NUMBER 055899-F

2. Owner Name(s): Kevin Schneider  
Mailing Address: 1308 County Road 129  
City, State, Zip : Glenwood Springs, Co. 81601  
Phone # : 970-945-6737

APPROVAL # GWS31-91-03

3. WELL LOCATION AS DRILLED  
DISTANCES FROM SEC. LINES NW 1/4 SE 1/4 Sec: 2 Twp: 6 S Range: 89 W  
1970 ft. from South Sec. line and 2250 ft. from East Sec. line OR Northing: Easting:  
SUBDIVISION: LOT: BLOCK: FILING (UNIT):

STREET ADDRESS AT LOCATION

4. GROUND SURFACE ELEVATION ft. DRILLING METHOD Air Rotary  
DATE COMPLETED: 7/23/2001 TOTAL DEPTH: 200 DEPTH COMPLETION: 200

## 5. GEOLOGIC LOG

Depth	Type of Material (Size, Color, and Type)
000-090	Dirt, Rocks, Boulders
090-200	Leadville Limestone

6. HOLE DIAMETER (in)	FROM (ft)	TO (ft)
9.0	0	105
6.5	105	200

## 7. PLAIN CASING

OD (in)	Kind	Wall Size	From (ft)	To (ft)
7	Steel	0.240	0	105
5.5	PVC	0.250	103	110

## PERF. CASING : Screen Slot Size

5.5	PVC	0.250	110	200

Water Located: 105 +

Remarks :

## 8. Filter Pack

Material :  
Size :  
Interval :

## 9. Packer Placement

Type :  
Depth :

## 10. GROUTING RECORD

Material	Amount	Density	Interval	Placement
Cement	5 sks	6 gal/sk	10-40	poured
Cement	4 sks	6 gal/sk	85-105	pumped

11. DISINFECTION : Type : HTH

Amt. Used : 3 oz.

12. WELL TEST DATA : ( ) Check Box If Test Data Is Submitted On Supplemental

TESTING METHOD : Air Compressor

Static Level : 94 ft.

Date/Time Measured 7/23/2001

Production Rate 50 gpm

Pumping Level : Total ft.

Date/Time Measured 7/23/2001

Test Length : 2 hours

Test Remarks :

13. I have read the statements made herein and know the contents thereof, and that they are true to my knowledge. (Pursuant to Section 24-4-1-4 (13)(a) CRS, the making of false statements constitutes perjury in the second degree and is punishable as a class 1 misdemeanor.)

CONTRACTOR : Shelton Drilling Corp.

Mailing Address : P.O. Box 1059 Basalt, Co. 81621

Phone : (970) 927-4182

Lic. No. 1095

Name / Title (Please Type or Print)

Signature

Date

Wayne Shelton / President

8/2/2001

FILE COPY

SECTION F

FLOOD PLAIN CERTIFICATE

WATER QUALITY CONTROL DIVISION  
WATER QUALITY PROTECTION SECTION  
WQCD-TS-B2 - Technical Services Unit  
4300 CHERRY CREEK DRIVE SOUTH  
DENVER, CO 80222-1530  
(303) 692-3500

PWSID # 123865  
(For Department Use)

## 100-YEAR FLOOD PLAIN CERTIFICATION

This Statement must accompany all Applications for Approval to Construct new Waterworks submitted to the Colorado Department of Public Health and Environment.

PROJECT TITLE Rock Gardens Mobile Home Park & Campground County Garfield

CONSULTANT Zancanella and Associates, Inc.

### STATEMENT

I hereby certify that a Professional Engineering judgment has been made after evaluating all available flood plain data from the Colorado Water Conservation Board, U.S. Army Corps of Engineers, Housing and Urban Development, County Government, local flood districts, etc, regarding a potential 100-year flood threat to the

Rock Gardens Well #1A

Well or treatment plant

for Rock Gardens Mobile Home Park & Campground, LLC

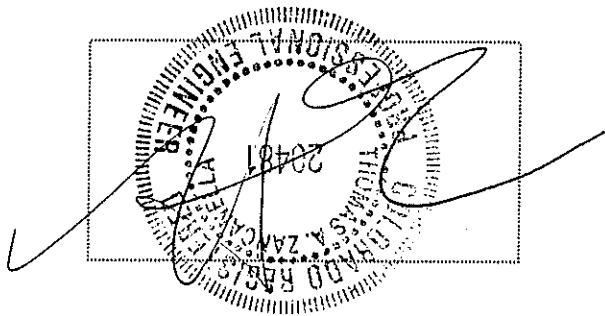
Name of entity or district, etc.

In my opinion, these waterworks, as located and designed, are not subject to flood damage by a 100-year event, based on the information enclosed from the

The area of interest is not covered by a FEMA Flood Insurance Rate Map. Therefore a HEC-RAS analysis of this portion of the Colorado River was conducted. The attached spreadsheet and map show that the proposed facilities are located well away from the Colorado River flood plain.

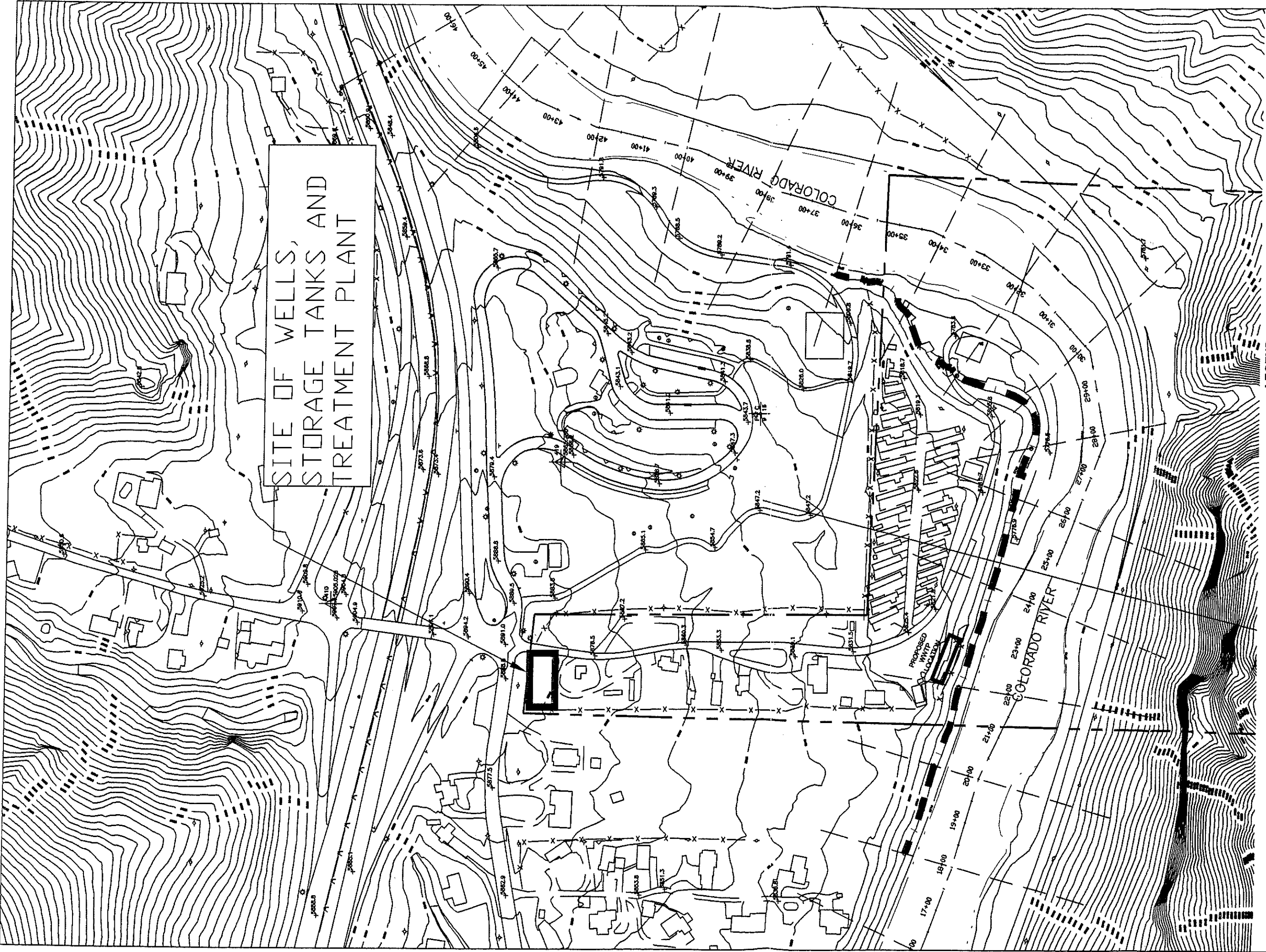
Signature Thomas A Zancanella Title P.E. Date 10/22/03

A Professional Engineers's Stamp must be included for all Community Water System's. Affix stamp below.



Date \_\_\_\_\_

HEC-RAS Plan: Imported Pla River: RIVER-1 Reach: Reach-1 Profile: PF 1											
Reach	River Sta	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crit W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	22	30730.00	5778.00	5792.83		5794.60	0.002629	10.87	2877.50	260.50	0.56
Reach-1	21	30730.00	5778.00	5790.81	5790.81	5793.63	0.007655	11.31	2350.93	365.67	0.86
Reach-1	20	30730.00	5776.84	5787.71		5790.42	0.005416	11.89	2347.01	273.64	0.77
Reach-1	19	30730.00	5776.00	5787.82		5789.50	0.002625	9.95	2960.55	279.54	0.55
Reach-1	18	30730.00	5774.00	5787.52		5788.87	0.001969	8.12	3331.48	307.60	0.47
Reach-1	17	30730.00	5770.11	5787.58		5788.38	0.001104	6.04	4405.26	409.96	0.36
Reach-1	16	30730.00	5770.00	5786.72		5788.01	0.001690	8.48	3390.65	282.61	0.45
Reach-1	15	30730.00	5770.00	5785.02		5787.26	0.002990	9.21	2639.72	240.31	0.57
Reach-1	14	30730.00	5770.00	5783.72	5781.44	5786.21	0.004135	12.24	2427.85	238.90	0.69
Reach-1	13	30730.00	5770.00	5781.02	5780.70	5784.93	0.008061	15.75	1935.99	223.93	0.95
Reach-1	12	30730.00	5768.00	5782.30		5783.69	0.001707	7.69	3273.42	259.60	0.43
Reach-1	11	30730.00	5768.00	5781.65		5783.23	0.002110	8.75	3064.56	257.84	0.48
Reach-1	10	30730.00	5766.00	5781.16		5782.82	0.001943	9.49	2979.67	223.49	0.48
Reach-1	9	30730.00	5766.00	5780.80		5782.32	0.001865	9.39	3113.21	242.82	0.47
Reach-1	8	30730.00	5766.00	5780.51		5781.95	0.001891	9.56	3190.71	260.99	0.48
Reach-1	7	30730.00	5766.00	5779.58		5781.43	0.002744	10.21	2815.92	253.32	0.55
Reach-1	6	30730.00	5764.00	5779.29		5780.92	0.001990	6.55	3034.08	245.00	0.42
Reach-1	5	30730.00	5763.80	5778.16		5780.40	0.002854	8.30	2586.80	215.03	0.52
Reach-1	4	30730.00	5762.00	5778.36		5779.61	0.001290	5.62	3465.46	246.84	0.35
Reach-1	3	30730.00	5762.00	5778.04		5779.28	0.001340	8.67	3449.27	243.26	0.41
Reach-1	2	30730.00	5762.00	5777.21		5778.83	0.001767	6.90	3042.59	223.70	0.42
Reach-1	1	30730.00	5762.00	5773.36	5773.36	5777.87	0.008801	15.81	1817.03	205.37	0.99



SECTION G

INVENTORY FORM

WATER QUALITY CONTROL DIVISION  
WATER QUALITY PROTECTION SECTION  
COMPLIANCE MONITORING AND DATA MANAGEMENT UNIT  
WQCD-CMDM-B2  
4300 CHERRY CREEK DRIVE SOUTH  
DENVER, CO 80222-1530  
(303) 692-3500

PWSID # 123685  
(For Department Use)

## PUBLIC DRINKING WATER SYSTEM INVENTORY FORM

Establishment Name Rock Gardens Mobile Home Park and Campground, LLC

Establishment Location 2 miles northeast of Glenwood Springs, CO County Garfield

Establishment Address 1308 County Road 129, Glenwood Springs, CO 81601

Establishment Phone (970) 945-6737 Do you provide food service? Yes X No       

Type of Establishment (e.g. homes, business, school, factory, store, camp, church, lodge, campground, ski area, etc.) cabins, mobile homes, RV spaces, summer camp sites, single family homes and a paper service snack bar.

Do you have a certified Water System Operator? Yes X No        Class/# C/2943

Certified Operator's Name Brian Vandermark Operator Phone ( 970 ) 945-6739

Owner's Name Rock Gardens Mobile Home Park and Campground, LLC Owner's Phone (970) 923-6737

Owner's Address 1308 County Road 129, Glenwood Springs, CO 81601

Water Source(s) (e.g. Well (include depth), spring, creek, reservoir, lake, purchased, etc.)

Rock Gardens Well # 1 (125 ft.) and Well #1A (200 ft.)

If you purchase water, name the system you purchase from N/A

**\*\*Please complete the treatment information on the next page of this form.\*\***

Is this a seasonal operation? Yes        No X If yes: Date Open        Date Closed       

Indicate the approximate number of each (per day) for our records: (record the maximum, DO NOT AVERAGE)

96 Residents, year round 321 Resident, seasonal        Students

       Church/Club Members        Day Care Children 20 Employees

200 Visitors/Customers/Guests

Other, please specify       

Print name of person completing this form Bradley C. Peek

Signature        Title        Date



Please copy this form for EACH source of water your system has available for use.

Establishment Name Rock Gardens Mobile Home Park and Campground, LLC

Name of Water Source Rock Gardens Well #1 County Garfield

Longitude of this Source 107° 17.6' W Latitude of this Source 39° 33.6' N

How was Lat./Long. Determined? U.S.G.S. Topo map measurement Lat./Long. Date 9/4/03

Check those treatments that apply to this source only.

☐ No treatment applied

#### DISINFECTION

- ☐ Gaseous Chlorination, Post
- ☐ Gaseous Chlorination, Pre
- ☒ Hypochlorination, Bleach, Post
- ☐ Hypochlorination, Bleach, Pre
- ☐ Chloramines
- ☐ Chlorine Dioxide
- ☐ Ozonation, Post
- ☐ Ozonation, Pre
- ☐ Ultraviolet Irradiation

- ☐ Bone Char
- ☐ Distillation
- ☐ Fluoridation
- ☐ Inhibitor, Bimetallic Phosphate
- ☐ Inhibitor, Hexametaphosphate
- ☐ Inhibitor, Orthophosphate
- ☐ Inhibitor, Polyphosphate
- ☐ Inhibitor, Silicate
- ☐ Ion Exchange

#### FILTRATION

- ☐ Coagulation
- ☐ Rapid Mix
- ☐ Flocculation
- ☐ Sedimentation
- ☐ Filtration, Rapid Sand
- ☐ Filtration, Bag
- ☐ Filtration, Cartridge
- ☐ Filtration, Diatomaceous Earth
- ☐ Filtration, Greensand
- ☐ Filtration, Pressure Sand
- ☐ Filtration, Slow Sand
- ☐ Filtration, Ultra Filtration
- ☐ Ultrafiltration (Membranes)
- ☐ Nanofiltration (Membranes)

- ☐ Lime - Soda Ash addition
- ☐ pH Adjustment
- ☐ pH Adjustment, Pre
- ☐ pH Adjustment, Post
- ☐ Permanganate
- ☐ Peroxide
- ☐ Reducing Agent, Sodium Bisulfate
- ☐ Reducing Agent, Sodium Sulfite
- ☐ Reducing Agent, Sulfur Dioxide
- ☐ Reducing Agent
- ☐ Reverse Osmosis
- ☐ Sequestration
- ☐ Sludge Treatment

#### OTHER FORMS OF TREATMENT

- ☐ Activated Alumina
- ☐ Activated Carbon, Granular
- ☐ Activated Carbon, Powdered
- ☐ Aeration (Type)
- ☐ Algae Control

#### Comments:

Please copy this form for EACH source of water your system has available for use.

Establishment Name Rock Gardens Mobile Home Park and Campground, LLC

Name of Water Source Rock Gardens Well #1A County Garfield

Longitude of this Source 107° 17.6' W Latitude of this Source 39° 33.6' N

How was Lat./Long. Determined? U.S.G.S. Topo map measurement Lat./Long. Date 9/4/03

Check those treatments that apply to this source only.

☐ No treatment applied

#### DISINFECTION

☐ Gaseous Chlorination, Post  
☐ Gaseous Chlorination, Pre  
☒ Hypochlorination, Bleach, Post  
☐ Hypochlorination, Bleach, Pre  
☐ Chloramines  
☐ Chlorine Dioxide  
☐ Ozonation, Post  
☐ Ozonation, Pre  
☐ Ultraviolet Irradiation

☐ Aeration (Type)  
☐ Algae Control  
☐ Bone Char  
☐ Distillation  
☐ Fluoridation  
☐ Inhibitor, Bimetallic Phosphate  
☐ Inhibitor, Hexametaphosphate  
☐ Inhibitor, Orthophosphate  
☐ Inhibitor, Polyphosphate  
☐ Inhibitor, Silicate  
☐ Ion Exchange

#### FILTRATION

☐ Coagulation  
☐ Rapid Mix  
☐ Flocculation  
☐ Sedimentation  
☐ Filtration, Rapid Sand  
☐ Filtration, Bag  
☐ Filtration, Cartridge  
☐ Filtration, Diatomaceous Earth  
☐ Filtration, Greensand  
☐ Filtration, Pressure Sand  
☐ Filtration, Slow Sand  
☐ Filtration, Ultra Filtration  
☐ Ultrafiltration (Membranes)  
☐ Nanofiltration (Membranes)

☐ Lime - Soda Ash addition  
☐ pH Adjustment  
☐ pH Adjustment, Pre  
☐ pH Adjustment, Post  
☐ Permanganate  
☐ Peroxide  
☐ Reducing Agent, Sodium Bisulfate  
☐ Reducing Agent, Sodium Sulfite  
☐ Reducing Agent, Sulfur Dioxide  
☐ Reducing Agent  
☐ Reverse Osmosis

#### OTHER FORMS OF TREATMENT

☐ Activated Alumina  
☐ Activated Carbon, Granular  
☐ Activated Carbon, Powdered

☐ Sequestration  
☐ Sludge Treatment

Comments:

## SECTION H

# CHEMICAL ANALYSES

Colorado Department of Public Health and Environment - Drinking Water Section  
REPORTING FORM FOR BACTERIOLOGICAL ANALYSES

SEP 13 2001

SAMPLER: PLEASE FILL OUT ONE FORM FOR EACH INDIVIDUAL SOURCE/PLANT or COMPOSITE SET

YES (X) or NO ( ) THESE RESULTS ARE TO BE USED TO FULFILL STATE SAMPLING REQUIREMENTS

PWSID #: 123685 COUNTY: Garfield DATE COLLECTED: 8/1/01  
SYSTEM/ESTABLISHMENT NAME: Rock Gardens MHP  
SYSTEM ADDRESS: 40 Zancanella & Assoc. City: Glenwood Spgs. State: CO Zip: 81601  
CONTACT PERSON: Brad Peek PHONE: (970) 945-5700  
SAMPLE COLLECTED BY: Brad Peek TIME COLLECTED: 11:00 AM  
WATER TYPE: RAW (No chlorine or other treatment) (X) or CHLORINATED ( ) or OTHER TREATMENT ( )  
SOURCE(S): LOCATION(S): - Address/Area SAMPLE POINT(S):

Rock Gardens Well #1A | 1308 C.R. 129 | Wellhead

For Laboratory Use Only Below This Line

LABORATORY SAMPLE #: 10802A1 CLIENT NAME or ID#: Rock Gardens #01-4082  
LABORATORY NAME: ADAMS LABORATORY LAB PHONE #: 303-399-3215  
DATE/TIME RECEIVED IN LABORATORY: 8/2/01 1:00  
DATE/TIME ANALYZED: 8/2/01 1:20  
COMMENTS: \_\_\_\_\_

PARAMETER	(#/100ml) RESULT	(#/100ml) MCL	SM METHOD	(#/100ml) LAB MDL
Coliform, Total	<u>PRESENT</u>	<u>&lt;1</u>	<u>9222.8</u>	<u>1 cfa</u>

Ever Adams Microbiologist 8/3/01  
Reviewed & Approved by Title Date

MAIL RESULTS TO: Colorado Department of Public Health and Environment, WQCD-OW-82, 4300 Cherry Creek Drive South, Denver, CO 80222-1530

Laboratory: Call drinking water section of CDPHE immediately with any results other than <1 or absent.  
(303) 692-3547

Colorado Department of Public Health and Environment – Drinking Water Section  
Reporting form for Nitrate/Nitrite as Nitrogen analyses

Sampler: PLEASE FILL OUT ONE FORM – FOR EACH INDIVIDUAL SOURCE/PLANT OR COMPOSITE SET

YES [X] or NO [] THESE RESULTS ARE TO BE USED TO FULFILL STATE SAMPLING REQUIREMENTS

PWSID #: 123685 COUNTY: Garfield

DATE COLLECTED: 8/1/01

SYSTEM/ESTABLISHMENT NAME: Rock Gardens MHP

SYSTEM/ADDRESS: c/o Zancanella & Assoc., 1005 Cooper Glenwood Springs  
Ave. CITY

CO 81601  
STATE ZIP

STREET ADDRESS/PO BOX

CONTACT PERSON: Brad Peek

PHONE: (970)945-5700

SAMPLE COLLECTED BY: Brad Peek

TIME COLLECTED: 11:00 am

WATER TYPE: RAW [X]

CHLORINATED []

OTHER TREATMENT []

SOURCE(S):

LOCATION(S):

SAMPLE POINT(S):

Rock Gardens Well #1A

1308 C.R. 129

Wellhead

DO SAMPLES NEED TO BE COMPOSITED BY LABORATORY? YES [] OR NO [X]

*For Laboratory Use Only Below This Line*

LABORATORY SAMPLE #: 01-4082-01

CLIENT NAME OR ID#: Well #1A

LABORATORY NAME: Evergreen Analytical Laboratory

LAB PHONE: (303) 425-6021

DATE RECEIVED IN LABORATORY: 8/2/01

DATE ANALYZED: 8/2/01

COMMENTS:

PARAMETER	RESULT (mg/L)	MCL (mg/L)	EPA METHOD	LAB MDL (mg/L)
NITRATE/NITRITE-N	0.32	10.0	300.0	0.076
NITRATE-N	0.32	10.0	300.0	0.056
NITRITE-N	BDL	1.0	300.0	0.076

NT = Not Tested for compound.

mg/L = milligrams per Liter.

MCL = Maximum Contaminant Level.

LAB MDL = Laboratory Method Detection Limit.

H = Holding Time has been exceeded.

BDL = Below Detection Limit.

Carl M. Hunt

Technical Director

8/20/01

Reviewed and approved by

Title

Date

MAIL RESULTS TO: Colorado Department of Public Health and Environment, WQCD-DW-B2, 4300 Cherry Creek Drive South, Denver, CO, 80222-1530

Colorado Department of Public Health and Environment – Drinking Water Section  
Reporting form for Corrosivity analyses

Sampler: PLEASE FILL OUT ONE FORM – FOR EACH INDIVIDUAL SOURCE/PLANT OR COMPOSITE SET

YES ☒ or NO ☐ THESE RESULTS ARE TO BE USED TO FULFILL STATE SAMPLING REQUIREMENTS

PWSID #: 123685 COUNTY: Garfield DATE COLLECTED: 8/1/01  
SYSTEM/ESTABLISHMENT NAME: Rock Gardens MHP  
SYSTEM/ADDRESS: c/o Zancanella & Assoc., 1005 Cooper Ave. Glenwood Springs CO 81601  
STREET ADDRESS/PO BOX CITY STATE ZIP  
CONTACT PERSON: Brad Peek PHONE: (970) 945-5700  
SAMPLE COLLECTED BY: Brad Peek TIME COLLECTED: 11:00 am  
WATER TYPE: RAW ☒ CHLORINATED ☐ OTHER TREATMENT ☐  
SOURCE(S): LOCATION(S): SAMPLE POINT(S):  
Rock Gardens Well #1A 1308 C.R. 129 Wellhead

*For Laboratory Use Only Below This Line*

LABORATORY SAMPLE #: 01-4082-01 CLIENT NAME OR ID#: Well #1A  
LABORATORY NAME: Evergreen Analytical Laboratory LAB PHONE: (303) 425-6021  
DATE RECEIVED IN LABORATORY: 8/2/01 DATE ANALYZED: 8/3/01 to 8/13/01  
COMMENTS:

PARAMETER	RESULT (mg/L)	MCL (mg/L)	EPA METHOD	LAB MDL (mg/L)
LANGLIER INDEX	+0.24	***	SM 2330B	N/A
CALCIUM CARBONATE	137	N/A	200.8	0.34
DISSOLVED SOLIDS	196	N/A	SM 2540C	10.0
pH	7.66	N/A	150.1	N/A
TOTAL ALKALINITY	194	N/A	SM 2320B	5.0
TEMPERATURE	20 °C	N/A		

NT = Not Tested for compound.

mg/L = milligrams per Liter.

MCL = Maximum Contaminant Level.

LAB MDL = Laboratory Method Detection Limit.

H = Holding Time has been exceeded.

BDL = Below Detection Limit.

N/A = Not applicable.

\*\*\* = If Langelier Index is a negative number, water is corrosive.

If Langelier Index is zero, water is balanced.

If Langelier Index is a positive number, water is scale forming.

Reviewed and approved by

Title

Date

MAIL RESULTS TO: Colorado Department of Public Health and Environment, WQCD-DW-B2, 4300 Cherry Creek Drive South, Denver, CO, 80222-1530

Colorado Department of Public Health and Environment – Drinking Water Section  
Reporting form for Original, Phase II, V Inorganic analyses

Sampler: PLEASE FILL OUT ONE FORM – FOR EACH INDIVIDUAL SOURCE/PLANT OR COMPOSITE SET

YES ☒ or NO ☐ THESE RESULTS ARE TO BE USED TO FULFILL STATE SAMPLING REQUIREMENTS

PWSID #: 123685 COUNTY: Garfield DATE COLLECTED: 8/1/01

SYSTEM/ESTABLISHMENT NAME: Rock Gardens MHP

SYSTEM/ADDRESS: c/o Zancanella & Assoc., 1005 Cooper Ave. Glenwood Springs CO 81601  
STREET ADDRESS/PO BOX CITY STATE ZIP

CONTACT PERSON: Brad Peck PHONE: (970) 945-5700

SAMPLE COLLECTED BY: Brad Peck TIME COLLECTED: 11:00 am

WATER TYPE: RAW ☒

CHLORINATED ☐

OTHER TREATMENT ☐

SOURCE(S):

LOCATION(S):

SAMPLE POINT(S):

Rock Gardens Well #1A

1308 C.R. 129

Wellhead

DO SAMPLES NEED TO BE COMPOSITED BY LABORATORY? YES ☐ OR NO ☒

*For Laboratory Use Only Below This Line*

LABORATORY SAMPLE #: 01-4082-01

CLIENT NAME OR ID#: Well # 1A

LABORATORY NAME: Evergreen Analytical Laboratory

LAB PHONE: (303) 425-6021

DATE RECEIVED IN LABORATORY: 8/2/01

DATE ANALYZED: 8/2/01 to 8/10/01

COMMENTS:

PARAMETER	RESULT (mg/L)	MCL (mg/L)	EPA METHOD	LAB MDL (mg/L)
ANTIMONY	BDL	0.006	200.8	0.002
ARSENIC	BDL	0.05	200.8	0.01
BARIUM	BDL	2.0	200.8	0.2
BERYLLIUM	BDL	0.004	200.8	0.001
CADMIUM	BDL	0.005	200.8	0.001
CHROMIUM	BDL	0.1	200.8	0.02
COPPER	BDL	1.3*	200.8	0.1
CYANIDE	0.034	0.2	SM4500-CN E	0.01
FLUORIDE	BDL	4.0	SM4500-F C	0.4
LEAD	BDL	0.015*	200.8	0.005
MERCURY	BDL	0.002	245.1	0.0002
NICKEL	BDL	0.1	200.8	0.02
SELENIUM	BDL	0.05	200.8	0.01
SODIUM	2.1	**	200.8	1
SULFATE	6	500.0**	300.0	0.5
THALLIUM	BDL	0.002	200.8	0.001

NT = Not Tested for compound

mg/L = milligrams per Liter

MCL = Maximum Contaminant Level

LAB MDL = Laboratory Method Detection Limit

H = Holding Time has been exceeded

BDL = Below Detection Limit

\* = Not an MCL, "Action Level"

\*\* = Not an MCL, "Monitoring Requirement Only"

*Carl M. Smith*

TECHNICAL DIRECTOR

8/20/01

Reviewed and approved by

Title

Date

MAIL RESULTS TO: Colorado Department of Public Health and Environment, WQCD-DW-82, 4300 Cherry Creek Drive South, Denver, CO, 80222-1530

Colorado Department of Public Health and Environment – Drinking Water Section  
Reporting form for Phase I, II, and V Organic analyses

Sampler: PLEASE FILL OUT ONE FORM – FOR EACH INDIVIDUAL SOURCE/PLANT OR  
COMPOSITE SET

YES [X] or NO [] THESE RESULTS ARE TO BE USED TO FULFILL STATE SAMPLING  
REQUIREMENTS

PWSID #: 123685 COUNTY: Garfield

DATE COLLECTED: 8/1/01

SYSTEM/ESTABLISHMENT NAME: Rock Gardens MHP

SYSTEM/ADDRESS: c/o Zancanella & Assoc., 1005 Cooper Glenwood Springs  
Ave. CITY

CO 81601  
STATE ZIP

STREET ADDRESS/PO BOX

CONTACT PERSON: Brad Peek

PHONE: (970) 945-5700

SAMPLE COLLECTED BY: Brad Peek

TIME COLLECTED: 11:00 am

WATER TYPE: RAW [X]

CHLORINATED []

OTHER TREATMENT []

SOURCE(S):

LOCATION(S):

SAMPLE POINT(S):

Rock Gardens Well #1A

1308 C.R. 129

Wellhead

DO SAMPLES NEED TO BE COMPOSITED BY LABORATORY? YES [] OR NO [X]

If yes, record information for second source or second PWSID #:

SOURCE(S):

LOCATION(S):

SAMPLE POINT(S):

*For Laboratory Use Only Below This Line*

LABORATORY SAMPLE #: 01-4082-01

CLIENT NAME OR ID #: Well # 1A

LABORATORY NAME: Evergreen Analytical Laboratory

LAB PHONE: (303) 425-6021

DATE RECEIVED IN LABORATORY: 8/2/01

DATE ANALYZED: 8/2/01/ to 8/15/01

COMMENTS:



## REGULATED ORGANIC CHEMICALS—SOC's (CONT.)

CONTAMINANT	CAS #	RESULT (µg/l)	MCL (µg/l)	EPA METHOD	LAB MDL (µg/l)	BLANK RESULT (µg/l)
Di(2-ethylhexyl)adipate	103-23-1	BDL	400	525.2	0.5	BDL
Di(2-ethylhexyl)phthalate	117-81-7	BDL	6	525.2	0.5	BDL
Endothall	145-73-3	BDL	100	548.1	10	BDL
Endrin	72-20-8	BDL	2	508	0.01	BDL
Ethylene dibromide	106-93-4	BDL	0.05	504.1	0.05	BDL
Glyphosphate	1071-53-6	NT	700	-	-	NT
Heptachlor	76-44-8	BDL	0.4	508	0.01	BDL
Heptachlor epoxide	1024-57-3	BDL	0.2	508	0.01	BDL
Hexachlorobenzene	118-74-1	BDL	1	508	0.01	BDL
Hexachlorocyclopentadiene	77-47-4	BDL	50	508	0.025	BDL
Lindane	58-89-9	BDL	0.2	508	0.01	BDL
Methoxychlor	72-43-5	BDL	40	508	0.01	BDL
Oxamyl	23135-22-0	BDL	200	531.1	2	BDL
Pentachlorophenol	87-86-5	BDL	1	515.1	0.25	BDL
Picloram	1918-02-1	BDL	500	515.1	0.25	BDL
Polychlorinated biphenyls	1336-36-3	BDL	0.5	508	0.25	BDL
Simazine	122-34-9	BDL	4	507	0.25	BDL
Toxaphene	8001-35-2	BDL	3	508	0.31	BDL

## UNREGULATED ORGANIC CHEMICALS—SOC's

CONTAMINANT	CAS #	RESULT (µg/l)	EPA METHOD	LAB MDL (µg/l)	BLANK RESULT (µg/l)
3-Hydroxycarbofuran	(Unk)	BDL	531.1	2	BDL
Aldicarb	116-06-3	BDL	531.1	1	BDL
Aldicarb sulfone	1646-87-4	BDL	531.1	2	BDL
Aldicarb sulfoxide	1646-87-3	BDL	531.1	2	BDL
Aldrin	309-00-2	BDL	508	0.01	BDL
Butachlor	23814-66-9	BDL	507	0.25	BDL
Carbaryl	63-25-2	BDL	531.1	2	BDL
Dicamba	1989-00-9	BDL	515.1	0.25	BDL
Dieldrin	60-57-1	BDL	508	0.01	BDL
Methomyl	16752-77-5	BDL	531.1	1	BDL
Metolachlor	51218-45-2	BDL	507	0.25	BDL
Metribuzin	21087-64-9	BDL	507	0.25	BDL
Propachlor	1918-16-7	BDL	507	0.25	BDL

## UNREGULATED ORGANIC CHEMICALS—VOC's

CONTAMINANT	CAS #	RESULT (µg/l)	EPA METHOD	LAB MDL (µg/l)	BLANK RESULT (µg/l)
1,1-Dichloroethane	75-34-3	BDL	524.2	0.5	BDL
1,1-Dichloropropene	563-58-6	BDL	524.2	0.5	BDL
1,1,1,2-Tetrachloroethane	630-20-6	BDL	524.2	0.5	BDL
1,1,2,2-Tetrachloroethane	79-34-5	BDL	524.2	0.5	BDL
1,2,3-Trichlorobenzene	87-61-6	BDL	524.2	0.5	BDL
1,2,3-Trichloropropane	96-18-4	BDL	524.2	0.5	BDL

## UNREGULATED ORGANIC CHEMICALS—VOC's (CONT.)

CONTAMINANT	CAS #	RESULT (µg/l)	EPA METHOD	LAB MDL (µg/l)	BLANK RESULT (µg/l)
1,2,4-Trimethylbenzene	95-63-6	BDL	524.2	0.5	BDL
1,3-Dichloropropane	142-28-9	BDL	524.2	0.5	BDL
1,3-Dichloropropene	542-75-6	BDL	524.2	0.5	BDL
1,3,5-Trimethylbenzene	108-67-8	BDL	524.2	0.5	BDL
2,2-Dichloropropane	590-20-7	BDL	524.2	0.5	BDL
Bromobenzene	108-86-11	BDL	524.2	0.5	BDL
Bromochloromethane	74-97-5	BDL	524.2	0.5	BDL
Bromomethane	74-96-4	BDL	524.2	0.5	BDL
Chloroethane	75-00-3	BDL	524.2	0.5	BDL
Chloromethane	74-87-3	BDL	524.2	0.5	BDL
Dibromomethane	74-95-3	BDL	524.2	0.5	BDL
Dichlorodifluoromethane	75-71-8	BDL	524.2	0.5	BDL
Fluorotrichloromethane	75-69-4	BDL	524.2	0.5	BDL
Hexachlorobutadiene	87-66-3	BDL	524.2	0.5	BDL
Isopropylbenzene	98-82-2	BDL	524.2	0.5	BDL
m-Dichlorobenzene	541-73-1	BDL	524.2	0.5	BDL
Naphthalene	91-20-3	BDL	524.2	0.5	BDL
n-Butylbenzene	104-51-8	BDL	524.2	0.5	BDL
n-Propylbenzene	103-65-1	BDL	524.2	0.5	BDL
o-Chlorotoluene	95-49-8	BDL	524.2	0.5	BDL
p-Chlorotoluene	106-43-4	BDL	524.2	0.5	BDL
p-Isopropyltoluene	25155-15-1	BDL	524.2	0.5	BDL
Sec-Butylbenzene	135-98-8	BDL	524.2	0.5	BDL
Tert-Butylbenzene	98-06-6	BDL	524.2	0.5	BDL

## Codes used:

NT = Not tested for compound.

B = The analyte is found in the associated blank as well as in the sample.

µg/l = Micrograms per liter.

MCL = Maximum Contaminant Level.

BDL = Indicates that the compound was analyzed for, but was below the LAB MDL.

LAB MDL = Laboratory Method Detection Limit.

*Carl M. Hunte*  
 Reviewed and approved by

TECHNICAL DIRECTOR  
 Title

5/24/01  
 Date

## SECTION I

# LEAD AND COPPER ASSESSMENT

**Lead and Copper Assessment  
Rock Gardens Mobile Home Park and Campground  
Water System  
(PWSID# 123685)**

The water sources for the Rock Gardens water system are Rock Gardens Wells #1 and #1A. Recent analyses of water from the Well #1A yielded results for lead and copper of "Below Detection Limit".

In past telephone conversations with John Payne (CDPHE, Water Quality Control Division), he has indicated that groundwater sources with a positive Langlier Index (Rock Gardens Well #1A had a Langlier Index of +0.24), lead and copper should have minimal impact on the water quality of the subdivision. The normal suite of lead and copper testing will be required, as directed by CDPHE.

## SECTION J

# MANAGERIAL PLAN

# **Managerial Plan Rock Gardens Mobile Home Park and Campground Water System (PWSID# 123685)**

## **Organizational Structure**

Per Certification of Water Treatment Plant and Wastewater Treatment Plant Operators, as amended 1996, Article 9 of Title 25, Part 100.8.2, the system being of a capacity of less than 2 mgd and using groundwater with no additional treatment beyond chlorine disinfection is a Class D facility. The system is required to be operated under the direct responsibility of a Class D certified plant operator.

The responsibility for obtaining the services of a certified plant operator belongs to the Rock Gardens management. It is anticipated that the Rock Gardens management responsibilities also will include water usage accounting and payment of system operating expenses (i.e., electrical, insurance, laboratory, operator fees, contractor fees, etc.). The Rock Gardens management is also responsible for compliance with the requirements of regulatory agencies for items such as safety, designs for the disabled, building codes, building permits, etc., as specified by 3.1 of the Design Criteria for Potable Water Systems.

The responsibility for the maintenance of disinfection residuals and sample collection as required by the Colorado Primary Drinking Water Regulations will be that of the system operator. The operator and the Rock Gardens management are expected to obtain the services of qualified electricians, plumbers, pump installers, and equipment service organizations as required to maintain the system.

## **Legal Basis of System**

Rock Gardens Well #1 was drilled under Permit # 29000-F and a Plan for Augmentation in Water Court Case 83CW379. A Statement of Beneficial Use was filed for this well in 1996.

Rock Gardens Well #1A was approved as an additional point of diversion under the augmentation plan (83CW379) and was drilled under Permit # 055899-F. A Statement of Beneficial Use (attached) was filed for this well in 2002. Copies of the well permits and Statements of Beneficial use are attached.

## **Startup and Operating Procedures**

Prior to the beginning of system operations for the new storage tanks and pump house, the tank and pipeline contractor will disinfect the system to AWWA specifications as defined in the Design Criteria For Potable Water Systems. A 10% sodium hypochlorite solution will be mixed with water in the chemical feed pump solution tanks. The initial mixture will contain ten gallons of water for each gallon of 10% sodium hypochlorite. The chemical

feed pumps will be primed and connected to the injectors. Each well pump control will, in turn, be switched to the "on" or "manual" position and the operation of the well and chlorinator will be verified. The chlorine in the supply line to the tank will be monitored. The stroke and frequency controls will be adjusted on each chemical feed pump to obtain a 1.0 mg/l total chlorine reading. The pump controls will then be set to automatic operation and the pumps will alternate at each pump cycle. A log of well water meter readings, chemical feeder settings, chlorine solution concentration and solution tank levels will be kept. After the tanks have filled, the shutdown of the pumps and chlorinators will be verified. The pressure pump controls will be switched to automatic operation and their operation verified. Pressure pump cut-in and cut-out pressures will be adjusted to provide system pressure between 40 psi and 60 psi. Chlorine residuals will be monitored at the remote ends of the system.

### **Routine maintenance**

Maintenance will include regular chlorine residual monitoring in the distribution system. Logs of water production, hypochlorite usage, and operational changes will be kept by the operator. Hypochlorite solution tanks will be refilled as required. System maintenance will include lubrication of pumps as specified by the equipment manufacturers. Chemical feed pump suction lines, discharge lines, injectors, and foot valves will be serviced and/or replaced as necessary to provide for proper flow of the sodium hypochlorite solution.

### **Staffing and Training Requirements**

As noted above, the system will require the services of a Class D certified plant operator. The operator is expected to be present at the start-up of the water system and will perform the items noted in "Startup and Operating Procedures" above. As-built drawings and equipment manuals will be available on site.

### **Sampling and Analysis Program**

A water sampling and analysis program consistent with the Colorado Primary Drinking Water Regulations and directives from the Water Quality Control Division will continue to be followed.

### **Vulnerability Assessment**

In previous conversations with John Payne (CDPHE), John indicated that he will require the system to complete one set of Organic (VOC/SOC) testing. These tests have been completed and the results are included in Section D of this application. A Vulnerability Assessment is not required at this time and may be completed during the regular water quality testing schedule as needed for organic testing waiver purposes.

### **Safety**

NIOSH compliant protective devices including gloves and a face shield will be provided in the hypochlorite injection room. The local fire department will be notified of the chemicals used or stored onsite.

### **Unaccounted Water**

The operator will provide water production data to the Rock Gardens management, as recorded by the well water meters. The total system production and the estimated usage values for the same time period will be compared. The difference will be examined and either allocated to system operations such as line flushing or allocated to line losses. Excessive line losses would require the Rock Gardens management to obtain the services of leak detection and water line excavation organizations, as needed.

### **Emergency Management Plan**

In the event of an emergency, the Rock Gardens management, or their designated representative, will contact the system operator. The operator and the Rock Gardens management representative will discuss the emergency and decide on a course of action. The Rock Gardens management in cooperation with the operator would obtain the services of leak detection, water line excavation, plumbing and/or electrical contracting organizations, as needed. In the event of a major water line leak, the operator would consult the as-built system drawings and close the appropriate system valves to limit system water loss until the leak is repaired.

During the peak month of usage at full build-out, the 20,000 gallon of storage tank capacity can supply water to the system for approximately 0.5 days without additional water from the wells. In the event of a power interruption lasting for longer than ½ day, the HOA could choose to obtain a backup power generator. Power interruptions of this magnitude are not common in this area.

### **Operations and Maintenance Manual**

An operations and maintenance manual, following the minimum outline from the State of Colorado New Water System Capacity Planning Manual, will be completed and made available to the water system administrator or owner, and to the certified water treatment plant operator. The manual will be completed and placed in service within three months after activation of the new storage tanks and pump house.



Date \_\_\_\_\_  
Use | 238

RECEIVED

FEB 21 1985

## PERMIT APPLICATION FORM

Application must be complete where applicable. Type or print in BLACK INK. No overstrikes or erasures unless initialed.

DIVISION COPY

PERMIT TO USE GROUND WATER  
PERMIT TO CONSTRUCT A WELL  
FOR: (X) A PERMIT TO INSTALL A PUMP

( ) REPLACEMENT FOR NO. \_\_\_\_\_

( ) OTHER \_\_\_\_\_

WATER COURT CASE NO. 81CW430, 84CW380

SEP 1985

WATER RIGHTS  
STATE ENGINEER  
GWA

(1) APPLICANT - mailing address

NAME William C. & Melanie J. Livingston  
c/o Leavenworth, Patrick & Lochhead,  
STREET P. O. Drawer 2030  
CITY Glenwood Springs, CO 81602  
(State) (Zip)  
TELEPHONE NO. (303) 945-2261

(2) LOCATION OF PROPOSED WELL

County Garfield  
SW 1/4 of the SE 1/4, Section 2  
Twp. 6 S, Rng. 89 W, 6th P.M.  
(N.S.) (E.W.)

(3) WATER USE AND WELL DATA

Proposed maximum pumping rate (gpm) 50  
Average annual amount of ground water  
to be appropriated (acre-feet): 10  
Number of acres to be irrigated: 1 acre  
Proposed total depth (feet): 150  
Aquifer ground water is to be obtained from:  
Colorado River alluvium

Owner's well designation: ROCK GARDENS WELL NO. 1GROUND WATER TO BE USED FOR:

( ) HOUSEHOLD USE ONLY - no irrigation (0)  
(X) DOMESTIC (1) ( ) INDUSTRIAL (5)  
( ) LIVESTOCK (2) (X) IRRIGATION (6)  
(X) COMMERCIAL (4) (X) MUNICIPAL (8)

( ) OTHER (9) \_\_\_\_\_

DETAIL THE USE ON BACK IN (11)

(4) DRILLER

Name Licensed Driller  
Street \_\_\_\_\_  
City \_\_\_\_\_  
(State) (Zip)  
Telephone No. \_\_\_\_\_ Lic. No. \_\_\_\_\_

FOR OFFICE USE ONLY: DO NOT WRITE IN THIS COLUMN

Receipt No. 53099 / \_\_\_\_\_

Basin \_\_\_\_\_ Dist. \_\_\_\_\_

CONDITIONS OF APPROVAL

This well shall be used in such a way as to cause no material injury to existing water rights. The issuance of the permit does not assure the applicant that no injury will occur to another vested water right or preclude another owner of a vested water right from seeking relief in a civil court action.

- 1) APPROVED PURSUANT TO CRS 37-90-137 FOR THE CONSTRUCTION OF THE PROPOSED WELL (ROCK GARDENS WELL NO. 1) TO APPROPRIATE TRIBUTARY GROUND WATER FROM THE ALLUVIUM OF THE COLORADO RIVER NORTHEAST OF GLENWOOD SPRINGS COLORADO. THE PROPOSED WELL IS THE SUBJECT OF AN APPLICATION NOW PENDING A WATER RIGHT DETERMINATION IN THE DIV. 5 WATER COURT, CASE NO. 83CW380.
- 2) OPERATION OF THIS WELL SHALL BE IN ACCORDANCE WITH THE PLAN FOR AUGMENTATION APPROVED BY THE DIV. 5 WATER COURT, CASE NO. 83CW379.
- 3) GROUND WATER PRODUCTION SHALL BE LIMITED TO A MAXIMUM OF 50 GPM TO PROVIDE A WATER SUPPLY FOR ROCK GARDENS, AN EXISTING MOBIL HOME PARK AND CAMPING PARK. THE DEVELOPMENT IS COMPOSED OF 36 MOBIL HOME SITES, FIVE CABINS, NINETY SUMMER CAMP SITES, AND TWO SINGLE FAMILY RESIDENCES.

- CONTINUED, ATTACHED SHEET -

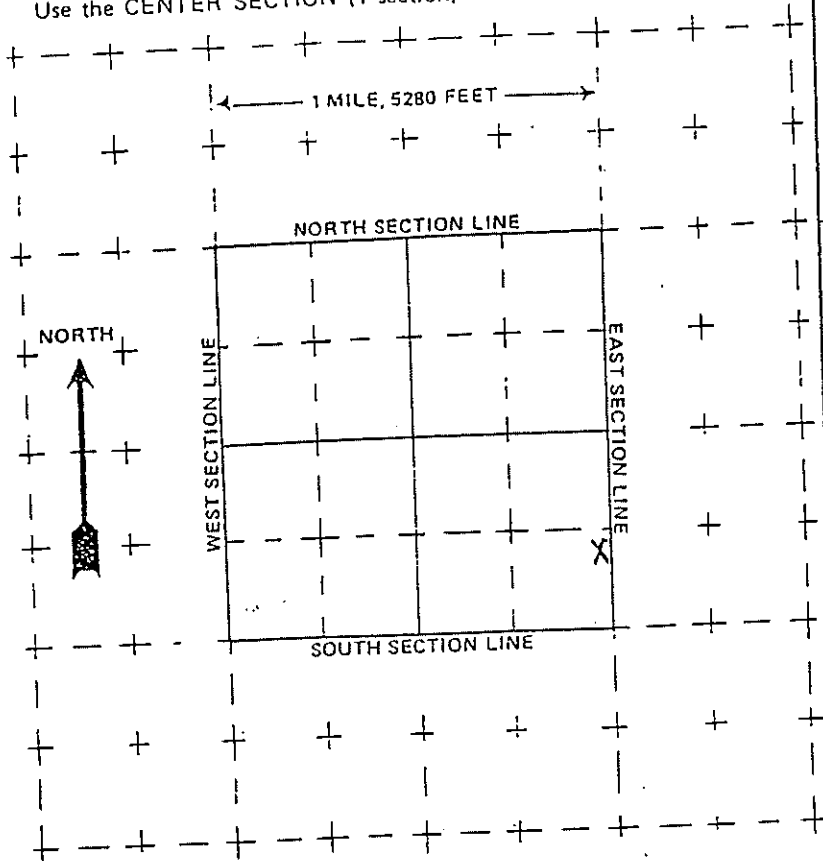
APPLICATION APPROVEDPERMIT NUMBER 25000-FDATE ISSUED SEP 20 1985EXPIRATION DATE SEP 20 1986

(STATE ENGINEER)

BY Robert C. Longmeyer, Assistant Enr.

5-39 52

(5) THE LOCATION OF THE PROPOSED WELL and the area on which the water will be used must be indicated on the diagram below. Use the CENTER SECTION (1 section, 640 acres) for the well location.



The scale of the diagram is 2 inches = 1 mile  
Each small square represents 40 acres.

**WATER EQUIVALENTS TABLE (Rounded Figures)**

An acre-foot covers 1 acre of land 1 foot deep  
1 cubic foot per second (cfs) . . . 449 gallons per minute (gpm)  
A family of 5 will require approximately 1 acre-foot of water per year.  
1 acre-foot . . . 43,560 cubic feet . . . 325,900 gallons.  
1,000 gpm pumped continuously for one day produces 4.42 acre-feet.

(6) THE WELL MUST BE LOCATED BELOW by distances from section lines.

1,200 ft. from South sec. line  
(north or south)

200 ft. from East sec. line  
(east or west)

LOT N/A BLOCK N/A FILING # N/A

SUBDIVISION N/A

(7) TRACT ON WHICH WELL WILL BE LOCATED Owner: Shell Minerals Corp.

No. of acres 4,725 Will this be the only well on this tract? No-other monitor wells could be installed

**(8) PROPOSED CASING PROGRAM**

Plain Casing

5 in. from surface ft. to 500 ft.

in. from ft. to ft.

6 in. from 500 ft. to 550 ft.

in. from ft. to ft.

Open Hole - Uncased

(9) FOR REPLACEMENT WELLS give distance and direction from old well and plans for plugging it:

(10) LAND ON WHICH GROUND WATER WILL BE USED:

Owner(s): Not applicable - monitor well No. of acres:

Legal description:

(11) DETAILED DESCRIPTION of the use of ground water: Household use and domestic wells must indicate type of disposal system to be used. Well will be installed to determine groundwater occurrence. If aquifer is

located, a pump test may be performed to determine the permeability and yield potential of such aquifer. The water level in the well could be periodically monitored for several years

(12) OTHER WATER RIGHTS used on this land, including wells. Give Registration and Water Court Case Numbers.

Type or right Used for (purpose) Description of land on which used

None

(13) THE APPLICANT(S) STATE(S) THAT THE INFORMATION SET FORTH HEREON IS TRUE TO THE BEST OF HIS KNOWLEDGE.

*My 7 Lucid*

SIGNATURE OF APPLICANT(S)

if more space is required.

OFFICE OF THE STATE ENGINEER  
COLORADO DIVISION OF WATER RESOURCES  
818 Centennial Bldg., 1313 Sherman St., Denver, Colorado 80203  
(303) 866-3581

1095

WELL PERMIT NUMBER

055899

F

DIV. 5

WD 52

DES. BASIN

MD

APPLICANT

KEVIN B SCHNEIDER  
1308 CR 129  
GLENWOOD SPRINGS, CO 81601-

APPROVED WELL LOCATION

GARFIELD COUNTY

NW 1/4 SE 1/4 Section 2  
Township 6 S Range 89 W Sixth P.M.

DISTANCES FROM SECTION LINES

1970 Ft. from South Section Line

2250 Ft. from East Section Line

UTM COORDINATES

Northing:

Easting:

(970) 945-6737

PERMIT TO CONSTRUCT A WELL

ISSUANCE OF THIS PERMIT DOES NOT CONFER A WATER RIGHT

CONDITIONS OF APPROVAL

- 1) This well shall be used in such a way as to cause no material injury to existing water rights. The issuance of this permit does not assure the applicant that no injury will occur to another vested water right or preclude another owner of a vested water right from seeking relief in a civil court action.
- 2) The construction of this well shall be in compliance with the Water Well Construction Rules 2 CCR 402-2, unless approval of a variance has been granted by the State Board of Examiners of Water Well Construction and Pump Installation Contractors in accordance with Rule 18.
- 3) Approved pursuant to CRS 37-90-137(2) on the condition that this well is operated in accordance with the William C. Livingston and Melanie J. Livingston Augmentation Plan approved by the Division 5 Water Court in case no. 83CW379. If this well is not operated in accordance with the terms of said decree, it will be subject to administration including orders to cease diverting water.
- 4) Approved as an additional point of diversion to the Rock Gardens Well No. 1 (permit no. 29000-F). Applicant shall apply to the water court to amend the augmentation plan decreed in case no. 83CW379 to include this well.
- 5) The combined use of ground water from this well and Rock Gardens Well No. 1 is limited to a water supply for 36 mobile home sites, 5 cabins, 90 summer camp sites, 2 single family dwellings, and 3,000 square feet of landscape irrigation.
- 6) The simultaneous maximum pumping rate of this well and Rock Gardens Well No. 1 shall not exceed 50 GPM.
- 7) The combined annual withdrawal of ground water from this well and Rock Gardens Well No. 1 shall not exceed 17.43 acre-feet.
- 8) The return flow from the use of this well must be through an individual waste water disposal system of the non-evaporative type where the water is returned to the same stream system in which the well is located.
- 9) The owner shall mark the well in a conspicuous place with well permit number(s), name of the aquifer, and court case number(s) as appropriate. The owner shall take necessary means and precautions to preserve these markings.
- 10) A totalizing flow meter must be installed on this well and maintained in good working order. Permanent records of all diversions must be maintained by the well owner (recorded at least annually) and submitted to the Division Engineer upon request.
- 11) This well shall be constructed not more than 200 feet from the location specified on this permit and not less than 600 feet from any existing well not owned by the applicant, excluding permit no. 42664-F (waiver submitted).

NOTICE: This permit has been approved as an additional point of diversion to be operated pursuant to the terms and conditions of case no. 95CW69. You are hereby notified that you have the right to appeal the issuance of this permit, by filing a written request with this office within sixty (60) days of the date of issuance, pursuant to the State Administrative Procedures Act. (See Section 24-4-104 through 106, C.R.S.)

JD 6-13-01

APPROVED

JD2

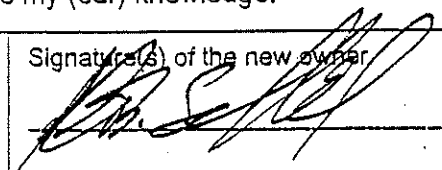
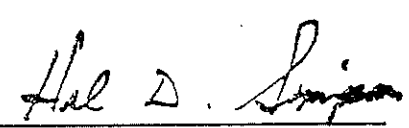
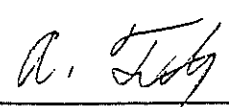
State Engineer

Receipt No. 0451428

DATE ISSUED JUN 14 2001

By

EXPIRATION DATE JUN 14 2002

Form No. GWS-11 11/00	<b>STATE OF COLORADO</b> <b>OFFICE OF THE STATE ENGINEER</b> 818 Centennial Bldg., 1313 Sherman St., Denver, CO 80203 (303) 866-3581 Fax (303) 866-3589	For Office Use Only  <div style="text-align: center;">           RECEIVED            APR 01 2002            APR 01 2002            COLO.         </div> <div style="text-align: center;">           WATER RESOURCES            STATE ENGINEER            COLO.         </div> <div style="font-size: 1.2em; margin-top: 10px;"> <i>rec# 0451428</i> </div>
<b>CHANGE IN OWNERSHIP/ADDRESS CORRECTION OF THE WELL LOCATION</b>		
Insert the Well Permit Number <u>55899-F</u>		
Name, address and phone of the person claiming ownership of the well: NAME(S) <u>Rock Gardens Mobile Home Park &amp; Campground, LLC</u> <u>c/o Leavenworth &amp; Karp, P.C.</u> Mailing Address <u>P. O. Drawer 2030</u> City, St. Zip <u>Glenwood Springs, CO 81602</u> Phone ( <u>970</u> ) <u>945-2261</u>		If your well has an absolute water right, decreed by the court and the well is not registered with the State Engineer, enter the Water Court Case Number / Civil Action Number and well number as decreed.
This form is filed by the named individual/entity claiming that they are the owner of the well permitted as referenced above. This filing is made pursuant to C.R.S. 37-90-143.		
WELL LOCATION: County <u>Garfield</u> Owner's Well Designation <u>Rock Gardens Well No. 2</u> <u>1308 County Road 129, Glenwood Springs, Colorado 81601</u> (Address) (City) (State) (Zip) <u>NW 1/4 of the SE 1/4, Sec. 2, Twp. 6</u> <input type="checkbox"/> N. or <input checked="" type="checkbox"/> S., Range <u>89</u> <input type="checkbox"/> E. or <input checked="" type="checkbox"/> W., <u>6th</u> P.M. Distance from Section Lines <u>1970</u> Ft. From <input type="checkbox"/> N. or <input checked="" type="checkbox"/> S., <u>2250</u> Ft. From <input checked="" type="checkbox"/> E. or <input type="checkbox"/> W. Line. Subdivision Name <u>n/a</u> Lot _____, Block _____, Filing/Unit _____		
The above listed owner(s) say(s) that he, she (they) own the well described herein. The existing record is being amended for the following reasons: <input checked="" type="checkbox"/> Change in name of owner <input type="checkbox"/> Change in mailing address <input type="checkbox"/> Correction of location for exempt wells permitted prior to May 8, 1972 and non-exempt wells permitted before May 17, 1965. Please see the reverse side for further information regarding correction of the well location.		
I (we) claim and say that I (we) (are) the owner(s) of the well described above and that the commencement of extraction of ground water from this well, lawfully made under the well permit, occurred on the date indicated, and that the statements made herein are true to my (our) knowledge.		
Please print the Signer's Name & Title <u>Rock Gardens Mobile Home Park &amp; Campground, LLC</u> By: <u>Kevin B. Schneider, Member</u>	Signature(s) of the new owner 	Date <u>3/21/02</u>
It is the responsibility of the new owner of this well to complete and sign the form. Signatures of agents are acceptable if an original letter of agency signed by the owner is attached to the form upon its receipt.		
For Office Use Only		
<b>ACCEPTED AS A CHANGE IN OWNERSHIP AND/OR MAILING ADDRESS.</b>		
 State Engineer	 By	<u>4-1-02</u> Date

SECTION K

FINANCIAL PLAN

**Financial Plan**  
**Rock Gardens Mobile Home Park and Campground**  
**Water System**  
**(PWSID# 123685)**

The Rock Gardens water system has been in operation for a number of years. The Rock Gardens management administers the system. Since the water system serves a population that is mostly transient, the water is not metered at the point of consumption.

The water system is not a separate entity, as is the case with most public water systems. It is operated as part of the Rock Gardens camping, river rafting, mobile home park and tourist business. Supplying potable water is an integral part of this enterprise. The water system will not be operated as a separate economic unit and therefore it is not reasonable to examine the water system as a separate financial entity.

P.O. Box 1908  
1011 Grand Avenue  
Glenwood Springs,  
CO 81602



(970) 945-5700  
(970) 945-1253 Fax

June 21, 2024

Glenn Hartmann  
Garfield County Community Development  
108 Eight Street, Suite 201  
Glenwood Springs, CO 81601

RE: Glenwood Canyon Resort Wastewater

Dear Glenn:

The Glenwood Canyon Resort Wastewater plant is permitted with the Colorado Department of Public Health and Environment (CDPHE) for a discharge to the Colorado River. The resort was previously permitted under permit number COG588083. On February 28, 2024 the resort received a updated permit number COG590083 from the Water Quality Control Division. The new permit is effective March 1, 2024 and expires on March 31, 2026.

As part of the renewal with the CDPHE of the permit with the Water Quality Control Division the specific capacities were review and approved. The plant was constructed with a permitted hydraulic capacity of 0.04 Million Gallons per Day (MGD) and 80 lbs of BOD<sub>5</sub>/day. The resort received Site Approval with the CDPHE under number SA 4712.

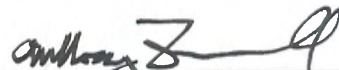
The plants monthly flows for the past five years were reviewed by the CDPHE. The flows showed high fluctuations in flows over time. The reported daily maximum influent flows were as low as 0.0011 MGD and as high as 0.0231 MGD. According to the CDPHE recent review the "daily average influent flows for the maximum three flow month at this facility was 0.0156 MGD".

The plant is operating at an average peak of 40% of the capacity and has only seen a peak 57.75% of the total capacity of the plant in the past five years of data. The additional 11 residential units proposed by the resort can be adequately treatment by the existing capacity of the wastewater treatment plant.

If you have any questions, please call our office at (970) 945-5700

Very truly yours,

Zancanella and Associates, Inc.

  
Anthony W. Zancanella



Zancanella & Associates, Inc.

June 21, 2024

<https://zanda5700.sharepoint.com/zdrive/400's/429 - rock gardens/2024/rock gardens wastewater .docx>



COLORADO DEPARTMENT OF TRANSPORTATION <b>STATE HIGHWAY ACCESS PERMIT</b>			CDOT Permit No. 304167
			State Highway No/Mp/Side 070A/118.640/R
Permit fee 100.00	Date of transmittal 10/04/2004	Region/Section/Patrol 03/11/12	Local Jurisdiction Garfield County

The Permittee(s);  Rock Gardens MHP & Camp Ground, LLC 1308 County Road 129 Glenwood Spgs, CO 81601 970-945-6737	Applicant;  Rock Gardens MHP & Camp Ground, LLC 1308 County Road 129 Glenwood Spgs, CO 81601 970-945-6737	Ref No. 04-155
---	--	----------------

is hereby granted permission to have an access to the state highway at the location noted below. The access shall be constructed, maintained and used in accordance with this permit, including the State Highway Access Code and any attachments, terms, conditions and exhibits. This permit may be revoked by the issuing authority if at any time the permitted access and its use violate any parts of this permit. The issuing authority, the Department and their duly appointed agents and employees shall be held harmless against any action for personal injury or property damage sustained by reason of the exercise of the permit.

**Location:**

Located on the south side of I-70 Frontage, directly south of I-70 Interchange 119.

**Access to Provide Service to:**

Single-Family Detached Housing  
 Campground/Recreational Vehicle Park  
 Multipurpose Recreational Facility (Rafting)

**Total – 58 DHV**

**Other terms and conditions:**

\* See Attached Pages 2 and 3 and Other Enclosures for Additional Terms and Conditions.

**MUNICIPALITY OR COUNTY APPROVAL**

Required only when the appropriate local authority retains issuing authority.

By (x)	Date	Title
-----------	------	-------

Upon the signing of this permit the permittee agrees to the terms and conditions and referenced attachments contained herein. All construction shall be completed in an expeditious and safe manner and shall be finished within 45 days from Initiation. The permitted access shall be completed in accordance with the terms and conditions of the permit prior to being used.

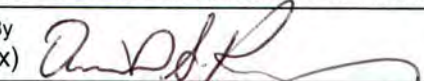
**The permittee shall notify Steve Quick with the Colorado Department of Transportation in Hanging Lake Tunnel at 970-945-3843 at least 48 hours prior to commencing construction within the State Highway right-of-way.**

The person signing as the permittee must be the owner or legal representative of the property served by the permitted access and have full authority to accept the permit and its terms and conditions.

Permittee (x) 	Date 10/12/04
--	------------------

This permit is not valid until signed by a duly authorized representative of the Department.

COLORADO DEPARTMENT OF TRANSPORTATION

By (x) 	Date (of issue) 10-18-04	Title Access Manager
---	-----------------------------	-------------------------

Copy Distribution:

Required:  
 1.Region  
 2.Applicant  
 3.Staff Access Section

Make copies as necessary for:  
 Local Authority  
 MTCE Patrol  
 Inspector  
 Traffic Engineer

Previous editions are obsolete and may not be used  
 CDOT Form #101 8/98



**State Highway Access Permit  
Form 101, Page 2**

The following paragraphs are excerpts of the State Highway Access Code. These are provided for your convenience but do not alleviate compliance with all sections of the Access Code. A copy of the State Highway Access Code is available from your local issuing authority (local government) or the Colorado Department of Transportation (Department). When this permit was issued, the issuing authority made its decision based in part on information submitted by the applicant, on the access category which is assigned to the highway, what alternative access to other public roads and streets is available, and safety and design standards. Changes in use or design not approved by the permit or the issuing authority may cause the revocation or suspension of the permit.

**APPEALS**

1. Should the permittee or applicant object to the denial of a permit application by the Department or object to any of the terms or conditions of a permit placed there by the Department, the applicant and permittee (appellant) have a right to appeal the decision to the [Transportation] Commission [of Colorado]. To appeal a decision, submit a request for administrative hearing to the Transportation Commission of Colorado within 60 days of transmittal of notice of denial or transmittal of the permit for signature. Submit the request to the Transportation Commission of Colorado, 4201 East Arkansas Avenue, Denver, Colorado 80222-3400. The request shall include reasons for the appeal and may include changes, revisions, or conditions that would be acceptable to the permittee or applicant.

2. Any appeal by the applicant or permittee of action by a local issuing authority shall be filed with the local authority and be consistent with the appeal procedures of the local authority.

3. In submitting the request for administrative hearing, the appellant has the option of including within the appeal a request for a review by the Department's internal administrative review committee pursuant to [Code] subsection 2.10. When such committee review is requested, processing of the appeal for formal administrative hearing, 2.9(5) and (6), shall be suspended until the appellant notifies the Commission to proceed with the administrative hearing, or the appellant submits a request to the Commission or the administrative law judge to withdraw the appeal. The two administrative processes, the internal administrative review committee, and the administrative hearing, may not run concurrently.

4. Regardless of any communications, meetings, administrative reviews or negotiations with the Department or the internal administrative review Committee regarding revisions or objections to the permit or a denial, if the permittee or applicant wishes to appeal the Department's decision to the Commission for a hearing, the appeal must be brought to the Commission within 60 days of transmittal of notice of denial or transmittal of the permit.

**PERMIT EXPIRATION**

1. A permit shall be considered expired if the access is not under construction within one year of the permit issue date or before the expiration of any authorized extension. When the permittee is unable to commence construction within one year after the permit issue date, the permittee may request a one year extension from the issuing authority. No more than two one-year extensions may be granted under any circumstances. If the access is not under construction within three years from date of issue the permit will be considered expired. Any request for an extension must be in writing and submitted to the issuing authority before the permit expires. The request should state the reasons why the extension is necessary, when construction is anticipated, and include a copy of page 1 (face of permit) of the access permit. Extension approvals shall be in writing. The local issuing authority shall obtain the concurrence of the Department prior to the approval of an extension, and shall notify the Department of all denied extensions within ten days. Any person wishing to reestablish an access permit that has expired may begin again with the application procedures. An approved Notice to Proceed, automatically renews the access permit for the period of the Notice to Proceed.

**CONSTRUCTION**

1. Construction may not begin until a Notice to Proceed is approved. (Code subsection 2.4)

2. The construction of the access and its appurtenances as required by the terms and conditions of the permit shall be completed at the expense of the permittee except as provided in subsection 2.14. All materials used in the construction of the access within the highway right-of-way or on permanent easements, become public property. Any materials removed from the highway right-of-way will be disposed of only as directed by the Department. All fencing, guard rail, traffic control devices and other equipment and materials removed in the course of access construction shall be given to the Department unless otherwise instructed by the permit or the Department inspector.

3. The permittee shall notify the individual or the office specified on the permit or Notice to Proceed at least two working days prior to any construction within state highway right-of-way. Construction of the access shall not proceed until both the access permit and the Notice to Proceed are issued. The access shall be completed in an expeditious and safe manner and shall be finished within 45 days from initiation of construction within the highway right-of-way. A construction time extension not to exceed 30 working days may be requested from the individual or office specified on the permit.

4. The issuing authority and the Department may inspect the access during construction and upon completion of the access to ensure that all terms and conditions of the permit are met. Inspectors are authorized to enforce the conditions of the permit during construction and to halt any activities within state right-of-way that do not comply with the provisions of the permit, that conflict with concurrent highway construction or maintenance work, that endanger highway property, natural or cultural resources protected by law, or the health and safety of workers or the public.

5. Prior to using the access, the permittee is required to complete the construction according to the terms and conditions of the permit. Failure by the permittee to abide by all permit terms and conditions shall be sufficient cause for the Department or issuing authority to initiate action to suspend or revoke the permit and close the access. If in the determination of the Department or issuing authority the failure to comply with or complete the construction requirements of the permit create a highway safety hazard, such shall be sufficient cause for the summary suspension of the permit. If the permittee wishes to use the access prior to completion, arrangements must be approved by the issuing authority and Department and included in the permit. The Department or issuing authority may order a halt to any unauthorized use of the access pursuant to statutory and regulatory powers. Reconstruction or improvement of the access may be required when the permittee has failed to meet required specifications of design or materials. If any construction element fails within two years due to improper construction or material specifications, the permittee shall be responsible for all repairs. Failure to make such repairs may result in suspension of the permit and closure of the access.

6. The permittee shall provide construction traffic control devices at all times during access construction, in conformance with the M.U.T.C.D. as required by section 42-4-104, C.R.S., as amended.

7. A utility permit shall be obtained for any utility work within highway right-of-way. Where necessary to remove, relocate, or repair a traffic control device or public or private utilities for the construction of a permitted access, the relocation, removal or repair shall be accomplished by the permittee without cost to the Department or issuing authority, and at the direction of the Department or utility company. Any damage to the state highway or other public right-of-way beyond that which is allowed in the permit shall be repaired immediately. The permittee is responsible for the repair of any utility damaged in the course of access construction, reconstruction or repair.

8. In the event it becomes necessary to remove any right-of-way fence, the posts on either side of the access shall be securely braced with an approved end post before the fence is cut to prevent any slacking of the remaining fence. All posts and wire removed are Department property and shall be turned over to a representative of the Department.

9. The permittee shall ensure that a copy of the permit is available for review at the construction site at all times. The permit may require the contractor to notify the individual or office specified on the permit at any specified phases in construction to allow the field inspector to inspect various aspects of construction such as concrete forms, subbase, base course compaction, and materials specifications. Minor changes and additions may be ordered by the Department or local authority field inspector to meet unanticipated site conditions.

10. Each access shall be constructed in a manner that shall not cause water to enter onto the roadway or shoulder, and shall not interfere with the existing drainage system on the right-of-way or any adopted municipal system and drainage plan..

11. By accepting the permit, permittee agrees to save, indemnify, and hold harmless to the extent allowed by law, the issuing authority, the Department, its officers, and employees from suits, actions, claims of any type or character brought because of injuries or damage sustained by any person resulting from the permittee's use of the access permit during the construction of the access.

**CHANGES IN ACCESS USE AND PERMIT VIOLATIONS**

1. It is the responsibility of the property owner and permittee to ensure that the use of the access to the property is not in violation of the Code, permit terms and conditions or the Act. The terms and conditions of any permit are binding upon all assigns, successors-in-interest, heirs and occupants. If any significant changes are made or will be made in the use of the property which will affect access operation, traffic volume and/or vehicle type, the permittee or property owner shall contact the local issuing authority or the Department to determine if a new access permit and modifications to the access are required.

2. When an access is constructed or used in violation of the Code, section 43-2-147(5)(c), C.R.S., of the Act applies. The Department or issuing authority may summarily suspend an access permit and immediately order closure of the access when its continued use presents an immediate threat to public health, welfare or safety. Summary suspension shall comply with article 4 of title 24, C.R.S.

**MAINTENANCE**

1. The permittee, his or her heirs, successors-in-interest, assigns, and occupants of the property serviced by the access shall be responsible for meeting the terms and conditions of the permit, the repair and maintenance of the access beyond the edge of the roadway including any cattle guard and gate, and the removal or clearance of snow or ice upon the access even though deposited on the access in the course of Department snow removal operations. Within unincorporated areas the Department will keep access culverts clean as part of maintenance of the highway drainage system. However, the permittee is responsible for the repair and replacement of any access-related culverts within the right-of-way. Within incorporated areas, drainage responsibilities for municipalities are determined by statute and local ordinance. The Department will maintain the roadway including auxiliary lanes and shoulders, except in those cases where the access installation has failed due to improper access construction and/or failure to follow permit requirements and specifications in which case the permittee shall be responsible for such repair. Any significant repairs such as culvert replacement, resurfacing, or changes in design or specifications, requires authorization from the Department.



## STATE HIGHWAY ACCESS PERMIT 304167

Located on Highway 70 Frontage near RP 118.64 Right  
Issued to Rock Gardens MHP & Campground, LLC

October 4, 2004

### TERMS AND CONDITIONS

1. This access shall be constructed 25 – 40 feet wide with turning radii to accommodate the minimum turning radius of the largest vehicle or 20 foot, whichever is greater. This design shall be in conformance with section 4 of the State Highway Access Code, 2CCR 601-1.
2. The access shall be surfaced in accordance with Section 4.7 of the Access Code immediately upon completion of earthwork construction and prior to use. This access shall be hard surfaced in accordance with Section 4.7 of the Access Code a minimum distance of 50 feet from the traveled way. Where the hard surface is to abut existing pavement, the existing pavement shall be saw cut and removed a minimum of one foot back from the existing edge for bituminous, or until an acceptable existing cross slope is achieved. Surfacing shall meet the Department's specifications with minimum surfacing to be equal to or greater than existing highway conditions.
3. This permitted access is only for the use and purpose stated in the Application and Permit. This Permit is issued in accordance with the State Highway Access Code (2 CCR 601-1), and is based in part upon the information submitted by the Permittee. Any subsequent relocation, reconstruction, or modifications to the access or changes in the traffic volume or traffic nature using the access shall be requested for by means of a new application. Any changes causing non-compliance with the Access Code may render this permit void, requiring a new permit.
4. The Permittee is responsible for obtaining any necessary additional Federal, State and/or City/County permits or clearances required for construction of the access. Approval of this access permit does not constitute verification of this action by the Permittee. Permittee is also responsible for obtaining all necessary utility permits in addition to this access permit.
5. A Notice to Proceed, CDOT Form 1265, is required before beginning construction on the access or any activity within the highway Right-of-Way. To receive the Notice to Proceed the applicant needs to submit a complete packet to CDOT with the following items:
  - (a) A cover letter requesting a Notice to Proceed, and the intended date to begin construction.
  - (b) Construction Plans Stamped by a Colorado Registered Professional Engineer in full compliance with the State Highway Access Code.
  - (c) Certificate of Insurance Liability as per Section 2.3(11)(i) of the State Highway Access Code.
  - (d) A certified Traffic Control Plan in accordance with Section 2.4(6) of the Access Code.
6. No drainage from this site shall enter onto the State Highway travel lanes. The Permittee is required to maintain all drainage in excess of historical flows and time of concentration on site. All existing drainage structures shall be extended, modified or upgraded, as applicable, to accommodate all new construction and safety standards, in accordance with the Department's standard specifications.
7. Nothing in this permit shall prohibit the chief engineer from exercising the right granted in CRS 43-3-102 Including but not limited to restricting left hand turns by construction of physical medial separations.
8. All workers within the State Highway right of way shall comply with their employer's safety and health policies/procedures, and all applicable U.S. Occupational Safety and Health Administration (OSHA) regulations - including, but not limited to the applicable sections of 29 CFR Part 1910 - Occupational Safety and Health Standards and 29 CFR Part 1926 - Safety



**STATE HIGHWAY ACCESS PERMIT 304167****October 4, 2004**

Located on Highway 70 Frontage near RP 118.64 Right  
Issued to Rock Gardens MHP & Campground, LLC

**TERMS AND CONDITIONS (cont.)**

and Health Regulations for Construction. Personal protective equipment (e.g. head protection, footwear, high visibility apparel, safety glasses, hearing protection, respirators, gloves, etc.) shall be worn as appropriate for the work being performed, and as specified in regulation.

9. The permittee is required to comply with the Americans With Disabilities Act Accessibility Guidelines (ADAAG) that have been adopted by the U.S. Architectural and Transportation Barriers Compliance Board (Access Board), and incorporated by the U.S. Attorney General as a federal standard. These guidelines are defining traversable slope requirements and prescribing the use of a defined pattern of truncated domes as detectable warnings at street crossings. The new Standards Plans and can be found on the Design and Construction Project Support web page at: <http://www.dot.state.co.us/DesignSupport/>, then click on *Design Bulletins*.
10. When it is necessary to remove any highway right-of-way fence, the posts on either side of the access entrance shall be securely braced with approved end posts and in conformance with the Department's M-607-1 standard, before the fence is cut, to prevent slacking of the remaining fence. All materials removed shall be returned to the Department.
11. Any damage to present highway facilities including traffic control devices shall be repaired immediately at no cost to the Department and prior to continuing other work. Any mud or other material tracked or otherwise deposited on the roadway shall be removed daily or as ordered by the Department inspector. Restoration shall meet the Department's standard specifications for topsoil, fertilization, mulching, and re-seeding.
12. A fully executed complete copy of this permit must be on the job site with the contractor at all times during the construction. Failure to comply with this or any other construction requirement may result in the immediate suspension of work by order of the Department inspector or the issuing authority.
13. Prior to any use as allowed by this permit, the applicant shall contact the Region 3 Access Manager in writing to request a final inspection. This request shall include certification that all materials and construction have been completed in accordance with all applicable Department Standards and Specifications; and that the access is constructed in conformance with the State Highway Access Code, 2 CCR 601-1, including this permit. The engineer of record as indicated on the construction plans, shall be present for this inspection. The access serviced by this permit may not be opened to traffic until written approval has been given from the CDOT Access Manager.



## DEPARTMENT OF TRANSPORTATION

Traffic & Safety Section

222 South 6<sup>th</sup> Street, Room 100  
Grand Junction, Colorado 81501  
(970) 248-7230



October 18, 2004

Rock Gardens MHP & Camp Ground, LLC  
1308 Country Road 129  
Glenwood Springs, CO 81601

RE: State Highway Access Permit No. 304167 Application No. 04-155  
Located on SH 70A near MP 118.64 in Garfield County

To Whom It May Concern:

The Colorado Department of Transportation (Department) has received your signed permit and application fee for the project referenced above. We have signed and issued the enclosed permit. The next step in the Department's access permitting process is for you (Applicant) to obtain a Notice to Proceed. ***Failure to obtain an approved Notice to Proceed prior to any construction will be a violation of the State Highway Access Code (2 CCR 601-1, "the Code") § 2.4.***

### **Notice to Proceed Information**

Well in advance of construction, the applicant shall request a Notice to Proceed in writing along with submitting other items such as construction drawings, specifications, a copy of the access permit, and other required documents to the Department. The Applicant must submit a complete packet of this information to the Department with their written request. If the Applicant chooses not to request the Notice to Proceed, the permit expires pursuant to subsection 2.3(11)(d).

The Department has seven days to determine if the Notice to Proceed submittal is complete for review and then notify the applicant of deficiencies. If complete, the Department will review and comment on the submitted information within thirty days. If the Department determines that the information is unacceptable, missing, or in need of correction, the Applicant shall correct their submittal and resubmit the complete request for Notice to Proceed.

Upon resubmittal, the Department will review the revised Notice to Proceed documents within ten days. If the revised documents are satisfactory, the Department will issue a Notice to Proceed. If further corrections are necessary, the cycle of submittal, review and comment repeats itself until approval is granted and the Notice to Proceed is issued.

The request for Notice to proceed shall include the following documents:

- 1) **Cover Letter Requesting a Notice to Proceed**



**2) Draft Traffic Control Plan**

The draft traffic control plan must be:

- Consistent with the Department Standard Plans Manual for Maintenance and Signing
- Consistent with the MUTCD
- Prepared by individual with the American Traffic Safety Services Association (ATSSA) or Colorado Contractors Association certification – or sealed (stamped) by a Colorado registered professional engineer
- Acceptable by the Department prior to any construction within the right-of-way
- Presented in a manner that provides a method of handling traffic (MHT) for each different phase of construction. The MHT will describe proposed construction phasing and will include dimensioned diagrams of work zone elements.

The final traffic control plan must be submitted a minimum of three working days in advance of construction. Such plans may be revised as necessary with Department concurrence.

**3) Insurance Liability Certification**

The Applicant or contractor shall be required to provide a comprehensive general liability and property damage insurance naming the Department as an additional insured party, in the amounts of not less than \$600,000 per occurrence and automobile liability insurance of \$600,000 combined single limit bodily injury and property damage for each accident, during the period of access construction.

**4) Complete Construction Plans**

The Applicant shall provide 6 copies of construction plans and specifications for the proposed improvements. The plans shall:

- Address, as applicable, geometry, drainage, striping, signing, and signalization
- Include, but not limited to, layout of the access, highway improvements, utility locations, present and proposed drainage, present and proposed right-of-way lines, present and proposed traffic control devices, and clear zone analysis
- Be sealed by a Colorado Professional Engineer in accordance with CRS 12-25-117
- Conform to the requirement of the permit terms and conditions
- Include the following statement on the cover page of the plans: "This design is in full compliance with Section 4 of the State Highway Access Code, 2 CCR 601-1 except for the following approved design waivers."

Please contact me if you have any questions.

Sincerely,



Mike Smith

Region 3 Access Manager

[John.M.Smith@dot.state.co.us](mailto:John.M.Smith@dot.state.co.us)

**ROCK GARDENS MHP & CAMPGROUND LLC**

1308 COUNTY ROAD 129  
GLENWOOD SPRINGS, CO 81601  
PH. (970) 945-6737

**BANK OF COLORADO**  
GLENWOOD SPRINGS, CO 81601  
82-244/1070

10168

10/13/2004

PAY TO THE ORDER OF Colorado Department of Transportation

\$ \*\*100.00

One Hundred and 00/100\*\*\*\*\* DOLLARS

Colorado Department of Transportation

MEMO

*Christine Bourne* MP

⑈010168⑈ ⑆107002448⑆2600034010⑈



# STATE OF COLORADO

## DEPARTMENT OF TRANSPORTATION

Region 3 Traffic Section  
222 South 6th Street, Room 100  
Grand Junction, CO 81501  
970-248-7230 office  
970-248-7294 fax



October 4, 2004

To: Rock Gardens MHP & Camp Ground, LLC  
1308 County Road 129  
Glenwood Spgs, CO 81601

Dear Sir or Madam:

Please review the attached State Highway Access Permit (Form #101) and all enclosed attachments.

If you choose NOT to act on the permit, please return the permit unsigned.

If you wish to APPEAL the Terms and Conditions of the permit, please refer to the attached Form 101 pages 2 & 3 for an explanation of the appeal procedures.

If you ACCEPT the permit and its Terms and Conditions, please sign and date the Access Permit form on the line marked "PERMITTEE". Your signature confirms your agreement to all the listed Terms and Conditions.

- Provide a check or money order made out to the jurisdiction named on the next line for the amount due.

Colorado Department of Transportation

Make check or money order payable to

\$ 100.00

Amount Due

- Return all copies and attachments of the Access Permit along with your payment back to the Colorado Department of Transportation at the address noted below. The Department will process and return to you a validated (signed and recorded) copy of your State Highway Access Permit.

If you fail to sign and return the attached Access Permit within 60 days of the date of this transmittal letter, Colorado Department of Transportation will consider this permit Void.

You must obtain a Notice to Proceed. DO NOT begin any work within the State Right-of-Way without a validated Access Permit and Notice To Proceed. Use of this permit without Transportation Department's validation shall be considered a violation of State Law.

If you have any questions, please call: Mike Smith at 970-248-7230

Return Access Permit and attachments to: Region 3 Traffic Section  
222 South 6th Street, Room 100  
Grand Junction, CO 81501

The transmittal to you of the Access Permit form for your approval constitutes final action by the Colorado Department of Transportation pursuant to section 43-2-147 C. R. S., as amended.



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***ESTIMATED TRAFFIC GENERATION***

***FOR***

***ROCK GARDENS P.U.D.  
NO NAME, COLORADO***

PREPARED FOR:

Rock Gardens  
1308 County Road #129  
Glenwood Springs, CO 81601

PREPARED BY:

High Country Engineering, Inc.  
1517 Blake Ave., Ste 101  
Glenwood Springs, CO 81601  
(970) 945-8676

Revised February 23, 2004

October 17, 2003

HCE JOB NUMBER: 99033.01



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Prepared by:

Ronald E. Weidler, P.E.

Project Manager

k:\wp\99\033\traf2-23-04.doc

## Proposed Traffic Projections

Below are the calculations showing the average daily traffic volumes that can be expected to be generated at full occupancy of the Rock Gardens P.U.D. during peak months:

PROPOSED CONDITIONS			
Type of Land Use	# Units	Average Vehicle Trip Ends per Unit/Day*	Total Vehicle Trip Ends per Day
Residential, Single-Family (Code 210)	2	10.09	20
Recreation Home For RV's and Campsites (Code 260)	128	3.07	393
Rafting (treat as Golf Course per employee) (Code 430)	20	25.28	506
Total =			<b>919</b>
*Based on values outlined in ITE Trip Generation Manual, 6th Edition on a Saturday or Weekend. Please note the site is used on a seasonal basis.			

**Based on the Capital Improvements Plan as adopted by the Board of County Commissioners the Rock Gardens P.U.D. is not located in an impact fee related area.**

As shown the overall total vehicle trip ends per day decreased. This was due to the reduction in single-family units and the increase in Campground/Recreation Vehicle Park spaces. Projected trips for the rafting operations remained the same because the Forest Service has placed a cap on the number of commercial rafting trips allowed on the river per day.

## Conclusion

The analysis shows a decrease in the total vehicle trip ends per day due to the reconfiguration of the site and the change in uses. There should be no impacts to County Road 129 because the site accesses directly onto the interstate at the south end of the "No-Name" exit overpass.



99033.02

GENERAL PERMIT APPLICATION

STORMWATER DISCHARGES  
ASSOCIATED WITH:

CONSTRUCTION ACTIVITY

(Permit No. COR-030000)

For Agency Use Only

COR - 03 \_\_\_\_\_

Date Received  
Year                      Month                      Day

\_\_\_\_\_

Code: 9A 9B 9C(1) 9D(2) 9E(3) 9F(4)

Please print or type. All items must be completed accurately and in their entirety or the application will be deemed incomplete and processing of the permit will not begin until all information is received. Please refer to the instructions for information about the required items. An original signature of the applicant is required.

1. Name and address of the permit applicant:

Company Name Rock Gardens MHP and Campground LLC

Mailing Address 1308 County Road #129

City, State and Zip Code Glenwood Springs, CO 81601

Phone Number 970-945-6737

Who is applying? Owner ☒ X

Developer

Contractor

Federal Taxpayer (or Employer) ID#: 8 4 1 3 3 8 9 1 2

Entity Type: Private      Federal      State      County      City      Other: \_\_\_\_\_

Local Contact (familiar with facility) Kevin Schneider

Title Owner Phone Number ( 970 ) 945 - 6737

2. Location of the construction site:

Street Address 1308 County Road #129

City, State and Zip Code Glenwood Springs, CO 81601

County Garfield Name of plan or development Rock Gardens P.U.D.

Latitude and Longitude LATITUTDE = 39° 33' 31.14", LONGITUDE = 107° 17' 34.13"

3. Briefly describe the nature of the construction activity:

Improvements include clearing and grubbing, overlot grading, drainage improvements,  
utility construction and paving for an existing campground.

4. Anticipated construction schedule (SEE INSTRUCTIONS!):

Commencement date: 9-6-04 Completion date: 9-6-05

5. Area of the construction site:

Total area of project site (acres) 43.10

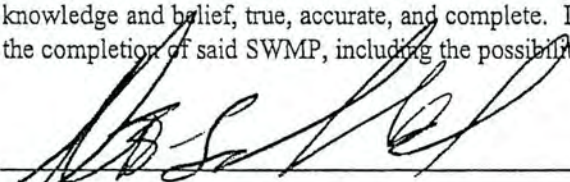
Area of project site to undergo disturbance (acres) 11.1

If project site is part of a Larger Common Plan of Development or Sale, total area of common plan to undergo disturbance (see Instructions) \_\_\_\_\_

6. The name of the receiving stream(s). (If discharge is to a ditch or storm sewer, also include the name of the ultimate receiving water): Colorado River

7. Stormwater Management Plan Certification:

"I certify under penalty of law that a complete Stormwater Management Plan, as described in Appendix A of this application, has been prepared for my facility. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the Stormwater Management Plan is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for falsely certifying the completion of said SWMP, including the possibility of fine and imprisonment for knowing violations."

  
Signature of Applicant

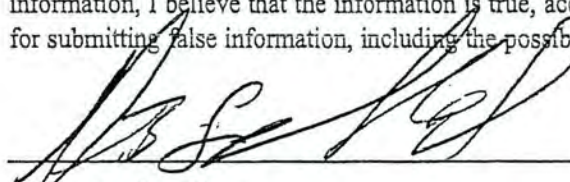
8/26/04  
Date Signed

KEVIN B. SCHNEIDER  
Name (printed)

OWNER  
Title

8. Signature of Applicant (legally responsible person)

"I certify under penalty of law that I have personally examined and am familiar with the information submitted in this application and all attachments and that, based on my inquiry of those individuals immediately responsible for obtaining the information, I believe that the information is true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine or imprisonment."

  
Signature of Applicant

8/26/04  
Date Signed

KEVIN B. SCHNEIDER  
Name (printed)

OWNER  
Title







649969 04/12/2004 03:45P B1576 P676 M ALSDORF  
2 of 2 R 11.00 D 0.00 GARFIELD COUNTY CO

Exhibit A

Parcel A:

A strip or parcel of land 200 feet wide lying South of the road and off the West side of the NW $\frac{1}{4}$ SE $\frac{1}{4}$ , Section 2, Township 6 South, Range 89 West of the 6th P.M. and more particularly described as follows:

Beginning at the Southwest corner of said NW $\frac{1}{4}$ SE $\frac{1}{4}$ ;  
Thence running Easterly 200 feet along South line of said NW $\frac{1}{4}$ SE $\frac{1}{4}$ ;  
Thence Northerly on a line parallel to West line of said NW $\frac{1}{4}$ SE $\frac{1}{4}$  to the County Road;  
Thence Westerly along the County Road to the West line of said NW $\frac{1}{4}$ SE $\frac{1}{4}$ ;  
Thence Southerly along said West line to the place of beginning;

Excepting from the above described Parcel A the property conveyed to the Department of Highways, State of Colorado, by Edward E. Henderson, Jr. and Iris V. Henderson in Deed recorded October 22, 1964 in Book 361 at Page 409 as Reception 227358 and described as follows, to-wit:

A tract or parcel of land No. 113 of Colorado Department of Highways Project No. I 70-2(2)121 Section 2, in the NW $\frac{1}{4}$  of the SE $\frac{1}{4}$  of Section 2, Township 6 South, Range 89 West of the 6th P.M., said tract or parcel being more particularly described as follows:

Beginning at a point on the West line of the NW $\frac{1}{4}$  of the SE $\frac{1}{4}$  of Section 2 from which point the E $\frac{1}{4}$  corner of Section 2, Township 6 South, Range 89 West, bears N. 78°08' E., a distance of 2493.9 feet;  
Thence N. 00°50'30" E. along the West line of the NW $\frac{1}{4}$  of the SE $\frac{1}{4}$  of Section 2, a distance of 64.4 feet to the South right of way line of S.H. 4 (December 1963);  
Thence along the South right of way line of S.H. 4(December 1963) N. 81°29' E. a distance of 208.7 feet to the East property line;  
Thence S. 00°50'30" W. along the East property line a distance of 120.4 feet;  
Thence N. 83°03' W. a distance of 207.1 feet, more or less to the point of beginning.

Parcel B:

Also, the SW $\frac{1}{4}$ SE $\frac{1}{4}$  of Section 2, Township 6 South, Range 89 West of the 6th Principal Meridian.

County of Garfield, State of Colorado



**GLENWOOD SPRINGS, CO**  
1517 Blake Avenue  
Suite 101  
Glenwood Springs, CO 81601  
970.945.8676 phone  
970.945.2555 fax



*An Employee-Owned Company*

**ENGLEWOOD, CO**  
14 Inverness Drive East  
Suite F-120  
Englewood, CO 80112  
303.925.0544 phone  
303.925.0547 fax

TO CDOT. Safety & Traffic Section DATE 9.14.04  
222 South 6th Street. Rm 100 SUBJECT Rock GARDENS  
Grand Junction, CO 81501 Access Permit  
 \_\_\_\_\_ JOB NO. 99033.01  
 ATTN Dan Roussin  
 FAX NO. \_\_\_\_\_ SHEET \_\_\_\_\_ OF \_\_\_\_\_

We are sending the following:

[illegible]

If material received is not listed above, kindly notify us at once.

Transmitted by:

- ☒ First Class Mail  
☐ UPS Next Day Air  
☐ Federal Express  
☐ U.S. Express Mail  
☐ UPS Standard Service  
☐ Courier  
☐ Pickup  
☐ FAX  
☐ HCE Hand Deliver  
☐

By: DE W



# STATE OF COLORADO

## DEPARTMENT OF TRANSPORTATION

Traffic & Safety Section

222 South 6<sup>th</sup> Street, Room 100  
Grand Junction, Colorado 81501  
(970) 248-7230



September 9, 2004

Rock Gardens MHP & Camp Ground LLC  
1308 Country Road 129  
Glenwood Springs, CO 81601

Re: Proposed Access Permit #04-155

Dear Applicant,

We have received your application for access to Interstate 70 (No Name) and after a preliminary review, have determined that the following items are still required:

- |   |   |
|---|---|
| <input type="checkbox"/> Site Layout Plan         | <input type="checkbox"/> Power of Attorney              |
| <input checked="" type="checkbox"/> Warranty Deed | <input type="checkbox"/> Surrounding Ownership Map      |
| <input type="checkbox"/> Adequate Vehicle Volumes | <input type="checkbox"/> Location Map                   |
| <input type="checkbox"/> Traffic Impact Study     | <input type="checkbox"/> Signature                      |
| <input type="checkbox"/> Signal Warrant Study     | <input type="checkbox"/> Partnership or Corp. Agreement |
| <input type="checkbox"/> Stake at Access Location | Showing Signature Authority                             |

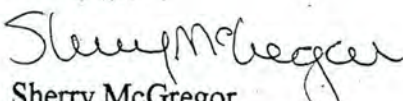
All submittals to the Department of Transportation shall become the property of the Department.

Upon receipt of the Department's letter requesting more information, the applicant may provide additional data and information as appropriate, or withdraw the application. If the applicant provides additional information as requested, the 45-day period starts over. If the applicant withdraws the application, then later resubmits an amended application, the same procedure as for the initial submittal shall be used.

Attachments necessary may include plans, maps, traffic studies, surveys, deeds, agreements, documents, data and location of any significant utilities to be moved. The scale, location and anticipated impacts of the access proposal will determine the scope of the attachments necessary in the application. The applicant may be required to submit information needed to evaluate the impacts of the proposed access on the general street system (which includes the state highway).

If there are any further concerns or questions, please feel free to contact this office at the above referenced address and number.

Sincerely,

  
Sherry McGregor  
Administrative Assistant III

## ACCESS TIMELINE

DATE DEADLINE INITIALS DESCRIPTION

9-1-04 SM Received initial application

Forwarded plans for review to:

RE: current, future construction projects

Traffic: signing, striping, geometry

9-9-04 MTCE: maintenance concerns

County: \_\_\_\_\_

9-9-04 SM Requested further information: was dead

9-14-04 20 days SM Initial Application Complete (~~sent letter~~)

Transmitted Denial

10-4-04 45 days SM Transmitted Permit

10-18-04 60 days SM Received Signed Permit w/ fee

Copies sent to:

☒ Staff Traffic

☒ Applicant

Electricians (if signal affected)

Other: \_\_\_\_\_

Received all required items for Notice To Proceed

Issued Notice to Proceed

Copies sent to:

Staff Traffic

MTCE Fore man (with Permit copy via e-mail)

MTCE Patrol (with Permit copy via e-mail)

Applicant

Electricians (if signal affected)

Other: \_\_\_\_\_

RE (Commercial or over 100 ADT)

48 hours \_\_\_\_\_ Notified Prior to commencing construction

At Construction

45 days \_\_\_\_\_ Construction Completed

1 year \_\_\_\_\_ Permit extended or expired (circle)



<b>COLORADO DEPARTMENT OF TRANSPORTATION</b> <b>STATE HIGHWAY ACCESS</b> FIELD WORKSHEET (Rev. Oct 1999)	Highway/Milepost (i.e. 121.419) <b>118.657</b>	Inspection Date <b>9-17-04</b>
	Local Jurisdiction	Inspected by: <b>REGION 3</b>
	Patrol Cost Center <b>3242</b>	<b>SEP 30 2004</b>

Permittee Name(s) <b>Rock Gardens MHP + Camp Ground LLC</b>	<b>TRAFFIC</b>
Access Location (4070 and 4072 Highway 50) <b>1308 County Rd 129, Glenwood Springs Co. 81601</b>	

Sight Distance Along Highway	Left <b>257'</b>	Grade <input type="checkbox"/> 0%-2.9% <input checked="" type="checkbox"/> 3%-4.9% <input type="checkbox"/> 5%-7%	Right <b>250'</b>	Grade <input type="checkbox"/> 0%-2.9% <input checked="" type="checkbox"/> 3%-4.9% <input type="checkbox"/> 5%-7%
Entering Sight Distance <sup>2</sup>	Left <b>200'</b>	Grade <input type="checkbox"/> 0%-2.9% <input checked="" type="checkbox"/> 3%-4.9% <input type="checkbox"/> 5%-7%	Right <b>200'</b>	Grade <input type="checkbox"/> 0%-2.9% <input checked="" type="checkbox"/> 3%-4.9% <input type="checkbox"/> 5%-7%
Posted Speed Limit	Left <b>25 MPH</b>		Right <b>15 MPH</b>	

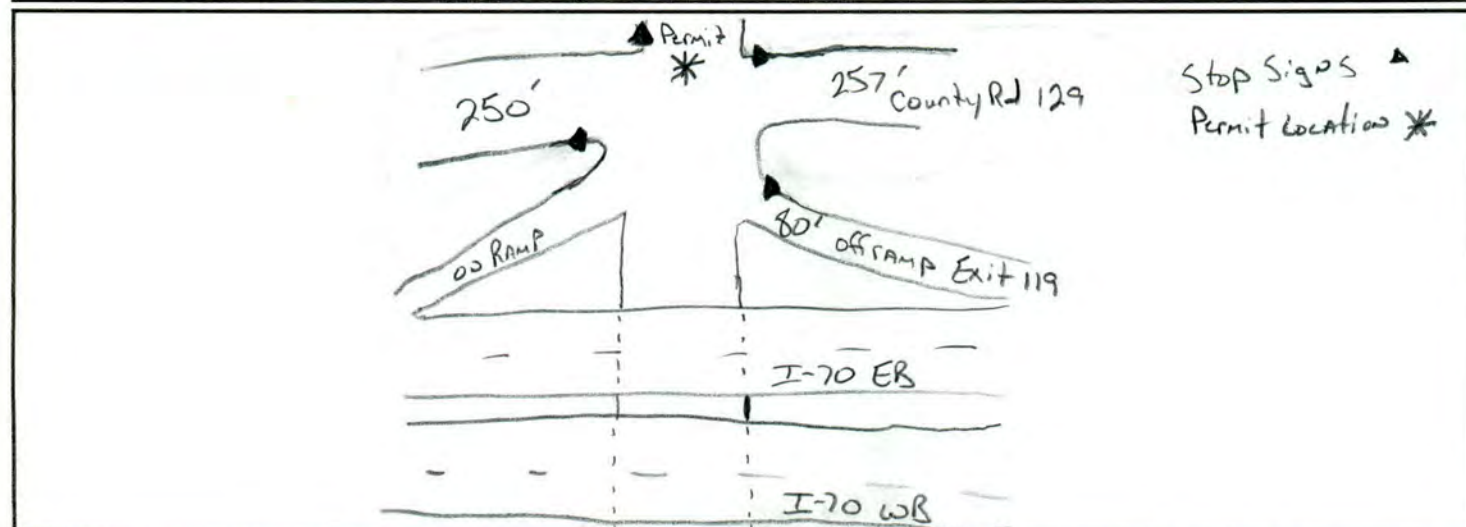
<sup>1</sup>For calculating sight distance at the proposed access location, a height of 3.5 feet shall be used for the driver's eyes of a vehicle on the highway approaching the access location. The driver's eyes shall be assumed to be at the centerline of the inside lane (inside with respect to the curve) for measurement purposes. A height of 4.25 feet shall be used for a vehicle assumed to be on the centerline of the access five feet back from the edge of the roadway.

<sup>2</sup>For calculating entering sight distance, a height of 3.5 feet shall be used for the driver's eyes at the access location and a height of 4.25 feet for the oncoming vehicle. The entering driver's eyes shall be assumed to be 10 feet back from the edge of the roadway

Design Information	
Place a check next to all that apply	
<input type="checkbox"/> Hazardous Materials <input type="checkbox"/> New Culvert (size___) <input checked="" type="checkbox"/> Curb & Gutter <b>IF disturbed</b> <input type="checkbox"/> Wetlands <input type="checkbox"/> PM10/Sensitive Area	<input type="checkbox"/> Guard Rail <input checked="" type="checkbox"/> Sidewalk <b>if disturbed</b> <input type="checkbox"/> Endangered Species <input type="checkbox"/> Archeology/Paleontology <input type="checkbox"/> Rumble Strips

Are there any adjoining Roads: (i.e. County or City) <b>Yes - County 129</b>	Distance to nearest Intersection (within 2 Miles) <b>At intersection</b> <b>Exit 119 I-70 Interchange</b>
---	---

Coordinate construction with: (if other than local M-2)	Name <b>Dwayne Gaymon</b>
	Phone <b>970-947-9361</b>
	Location



452



REGION 3  
SEP 01 2004

**COLORADO DEPARTMENT OF TRANSPORTATION  
STATE HIGHWAY ACCESS PERMIT APPLICATION**

Issuing authority application  
acceptance date:

- Instructions:
- contact the Department of Transportation or your local government to determine your issuing authority.
  - contact the issuing authority to determine what plans and other documents are required to be submitted with your application.
  - complete this form (some questions may not apply to you) and attach all necessary documents and submit it to the issuing authority. Submit an application for each access requested.
  - if you have any questions contact the issuing authority.
- Please print or type*

1) Property owner (Permittee) <b>Rock Gardens MHP &amp; Camp Ground, LLC</b>		2) Applicant	
street address, city <b>1308 County Road 129, Glenwood Springs</b>		street address, city	
state & zip <b>CO, 81601</b>	phone # <b>(970) 945-6737</b>	state & zip	phone #
3) Address of property to be served by permit (if known) <b>1308 County Road 129, Glenwood Springs, CO 81601</b>			
4) Legal description of property: county <b>Garfield</b> subdivision <b>Rock Gardens PUD</b> block lot section <b>2</b> township <b>T6S</b> range <b>R89W</b>			
5) What state highway are you requesting access from? <b>Interstate 70</b>		6) What side of the highway <input type="checkbox"/> N <input checked="" type="checkbox"/> S <input type="checkbox"/> E <input type="checkbox"/> W	
7) How many feet is the proposed access from the nearest mile post? feet (circle: N S E W ) from		How many feet is the proposed access from the nearest cross street? feet (circle: N S E W ) from: <b>I-70 Ramp</b>	
<b>105'</b>			
8) Check here if you are requesting a <input type="checkbox"/> new access <input type="checkbox"/> temporary access <input checked="" type="checkbox"/> improvement to existing access <input type="checkbox"/> change in access use <input type="checkbox"/> removal of access			
9) What is the approximate date you intend to begin construction? <b>September 2004</b>			
10) Do you have knowledge of any State Highway access permits serving this property, or adjacent properties in which you have a property interest. <input checked="" type="checkbox"/> no <input type="checkbox"/> yes, if yes - what are the permit number(s): and/or, permit date:			
11) Does the property owner own or have any interests in any adjacent property? <input checked="" type="checkbox"/> no <input type="checkbox"/> yes, if yes - please describe:			
12) Are there other existing or dedicated public streets, roads, highways or access easements bordering or within the property? <input type="checkbox"/> no <input checked="" type="checkbox"/> yes, if yes - list them on your plans and indicate the proposed and existing access points.			
13) If you are requesting commercial or industrial access please indicate the types and number of businesses and provide the floor area square footage of each.			
business	square footage	business	square footage
<b>Camp Ground/Rafting Company</b>	<b>n/a</b>		
14) If you are requesting agricultural field access - how many acres will the access serve?			
15) If you are requesting residential development access, what is the type (single family, apartment, townhouse) and number of units?			
type	number of units	type	number of units
16) Provide the following vehicle count estimates for vehicles that will use the access. Leaving the property then returning is two counts. Indicate if your counts are <input type="checkbox"/> peak hour volumes or <input checked="" type="checkbox"/> average daily volumes.			
# of passenger cars and light trucks <b>526</b>	# of multi unit trucks <b>0</b>	# of other vehicles <b>0</b>	
# of single unit vehicles in excess of 30 ft <b>393</b>	# of farm vehicles (field equipment) <b>0</b>	<b>Total count of all vehicles</b> <b>919</b>	

- 17) Check with the issuing authority to determine which of the following documents are required to complete the review of your application.  
(plans should be no larger than 24" x 36")
- |   |  |
|---|--|
| a) Highway and driveway plan profile.<br>b) Drainage plan showing impact to the highway right-of-way.<br>c) Map and letters detailing utility locations before and after development in and along the right-of-way.<br>d) Subdivision, zoning, or development plan. | e) Property map indicating other access, bordering roads and streets.<br>f) Proposed access design.<br>g) Parcel and ownership maps including easements.<br>h) Signing and striping plans.<br>i) Traffic control plan.<br>j) Proof of liability insurance. |
|---|--|

If an access permit is issued to you it will state the terms and conditions for its use. Any changes in the use of the permitted access not consistent with the terms and conditions listed on the permit may be considered a violation of the permit.

The applicant declares under penalty of perjury in the second degree, and any other applicable state or federal laws, that all information provided on this form and submitted attachments are to the best of their knowledge true and complete.

REGION 3

SEP 30 2004

TRAFFIC